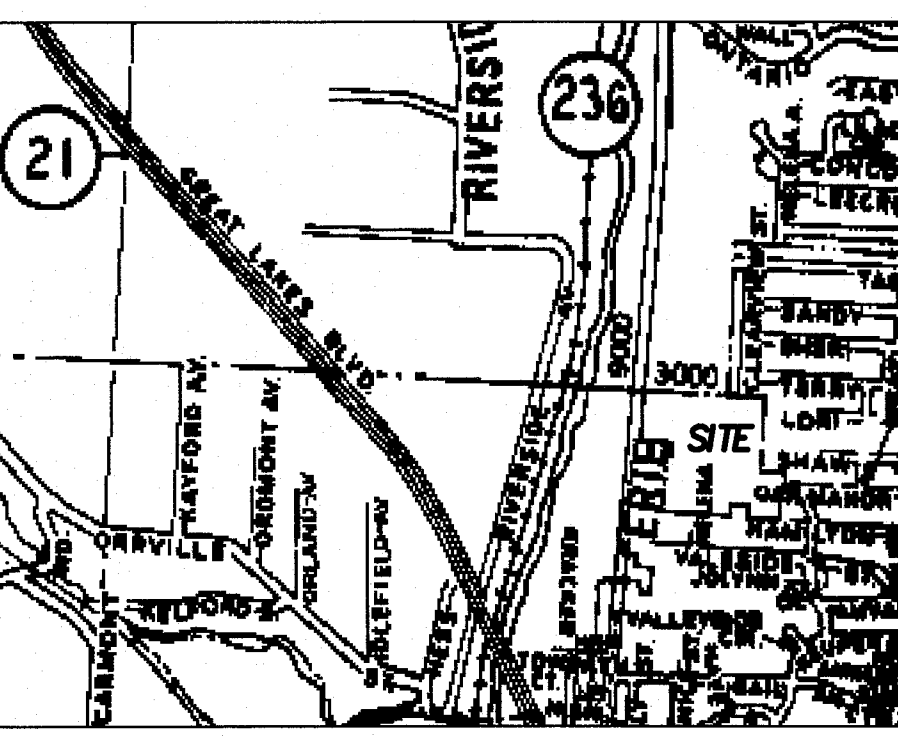
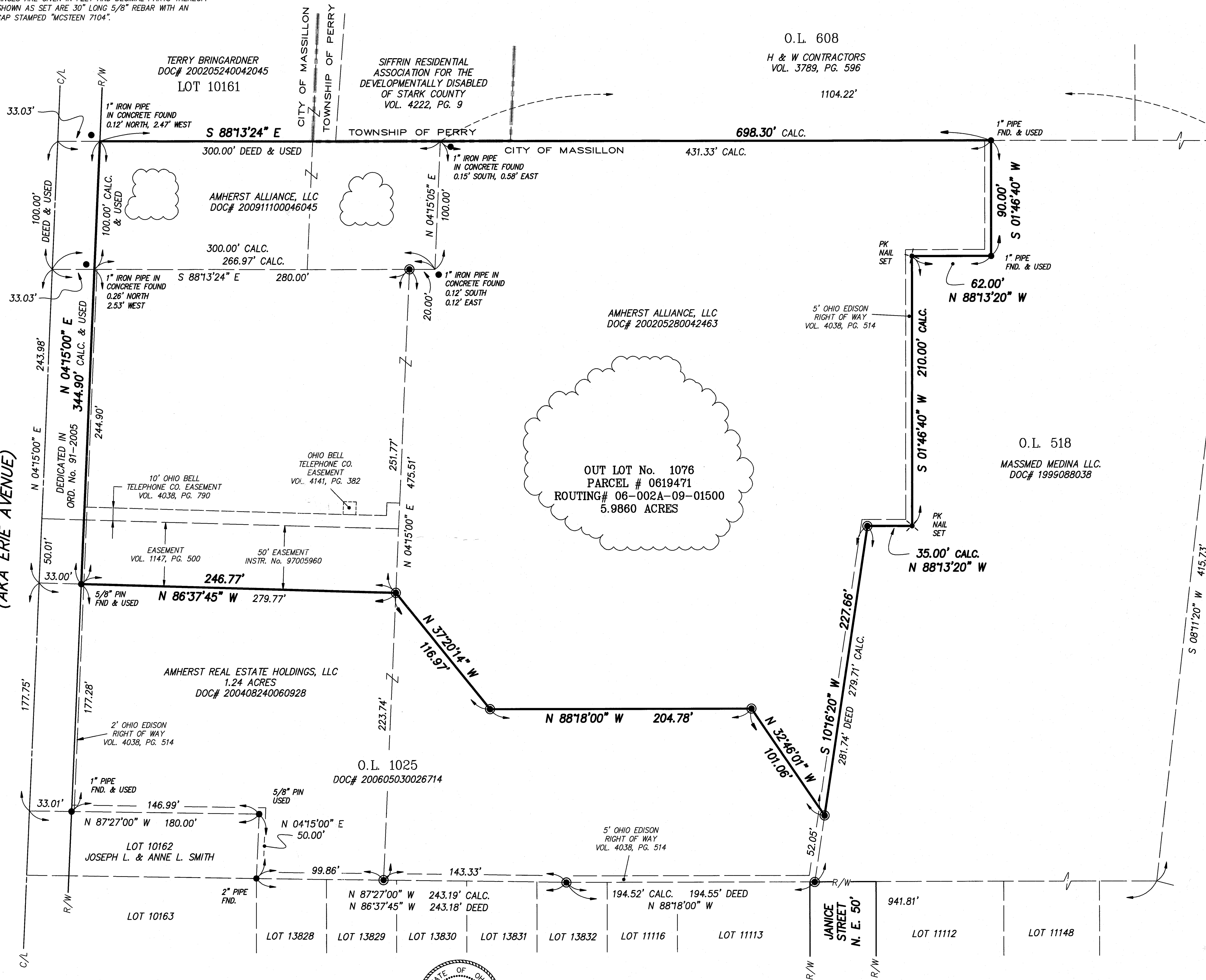


# BOUNDARY NOTES

THIS SURVEY IS A BOUNDARY SURVEY PREPARED IN ACCORDANCE WITH CHAPTER 4733-37, OHIO ADMINISTRATIVE CODE. THE BASIS OF BEARINGS FOR THIS SURVEY IS SOUTH 04°-15'-00" WEST AS THE CENTERLINE OF 1ST STREET N. E., AS EVIDENCED BY MONUMENTS FOUND, AND IS THE SAME BEARING AS FOUND IN DOCUMENT NO. 200911100046045 OF STARK COUNTY RECORDS. DISTANCES ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF. ALL IRON PINS SHOWN AS SET ARE 30" LONG 5/8" REBAR WITH AN IDENTIFICATION CAP STAMPED "MCSTEEN 7104".

1st STREET NE 66'  
(AKA ERIE AVENUE)



## PROPERTY CORNER NOTES

- denotes iron pin found as noted
- denotes iron pipe found as noted
- denotes 5/8" diameter x 30" long iron pin with "McSTEEN 7104" ID cap set from prior survey

## FLOOD ZONE DESIGNATION

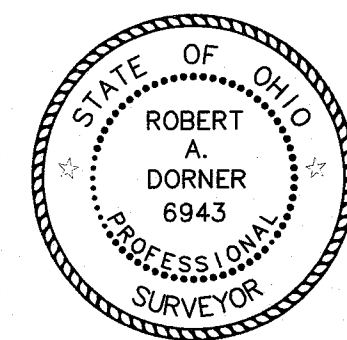
FLOOD ZONE "C"  
"AREA OF MINIMAL FLOODING"  
COMMUNITY PANEL No. 390517-0002C  
EFFECTIVE DATE: JULY 5, 1982

## SITE INFORMATION

PARCEL NUMBER: 0619471  
OUTLOT NUMBER: 1076  
ZONING: RM-1 MULTIPLE FAMILY RESIDENTIAL DISTRICT  
OWNER: AMHERST ALLIANCE LLC  
ACRAGE: 5.9860 ACRES

ROBERT A. DORNER 12/09/09

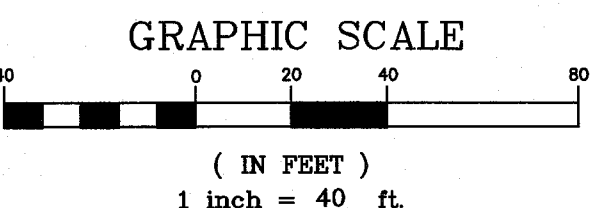
REG. PROF. SURV. No. 6943  
Job No.: 09-207  
Site No.: 2689  
Field Date: November 11, 2009  
Survey Date: November 24, 2009  
Latest Revision Date:  
Previous Reference Job No.:  
05-392, 05-370, 04-323,  
04-232, 02-151, 02-056  
F. B. 09-02, Pg. 57



Approved by the Massillon City Engineer this 22nd  
Day of Dec., 2010.

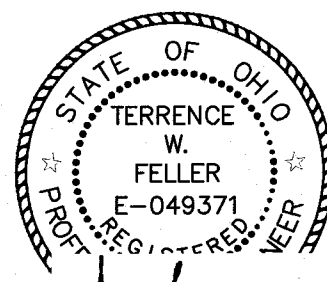
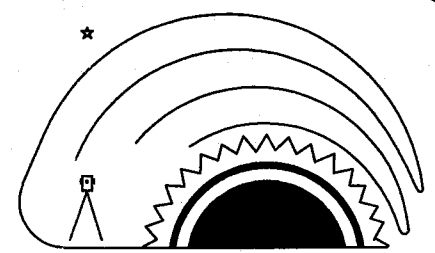
KEITH A. DYLEWSKI, P.E., P.S.

Only approved signed plans by the City Engineer are to be used for construction.



McSTEEN AND ASSOCIATES, INC.

ENGINEERS & SURVEYORS  
1415 EAST 286th STREET - WICKLIFFE, OH 44092  
PHONE: 1-440-585-9800 FAX: 1-440-585-9802



PROJECT ID: 2689  
PROJECT NUMBER:  
10-101

## EXISTING UTILITIES

THIS LIST MAY NOT CONTAIN ALL UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM COMPLETENESS OF THIS LIST.

A T & T  
10 WEST BROAD STREET  
COLUMBUS, OHIO 43215  
PH 1-800-252-1133

DOMINION EAST OHIO GAS  
MR. GARY EISKY  
PO BOX 5759  
CLEVELAND, OHIO 44101-0759  
PH 216-736-6725 FAX 216-736-6710

AQUA OHIO  
870 3RD STREET NW  
MASSILLON, OHIO 44647  
PH 330-833-4156

SANITARY CITY OF MASSILLON  
151 LINCOLN WAY  
MASSILLON, OHIO 44646  
PH 330-830-1722

OHIO EDISON  
MR. OZZ JOHNSON  
75 SOUTH MAIN STREET  
AKRON, OHIO 44308  
PH 1-330-384-5713

MASSILLON CABLE  
PO BOX 1000  
MASSILLON, OHIO 44648-1000  
PH 330-833-4134 FAX 330-833-9775

ADDITION AND RENOVATION TO:  
AMHERST MEADOWS

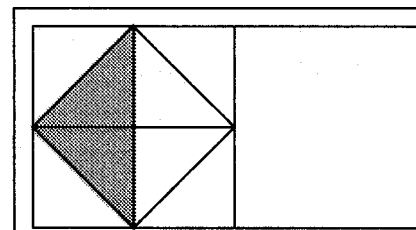
1610 FIRST STREET NE.  
MASSILLON, OHIO

BOUNDARY PLAN

DATE: 3 AUGUST 2010  
ISSUE: BLDG. PERMIT  
DATE: 2 SEPTEMBER 2010  
ISSUE: CITY ENGR. REV.

C-1

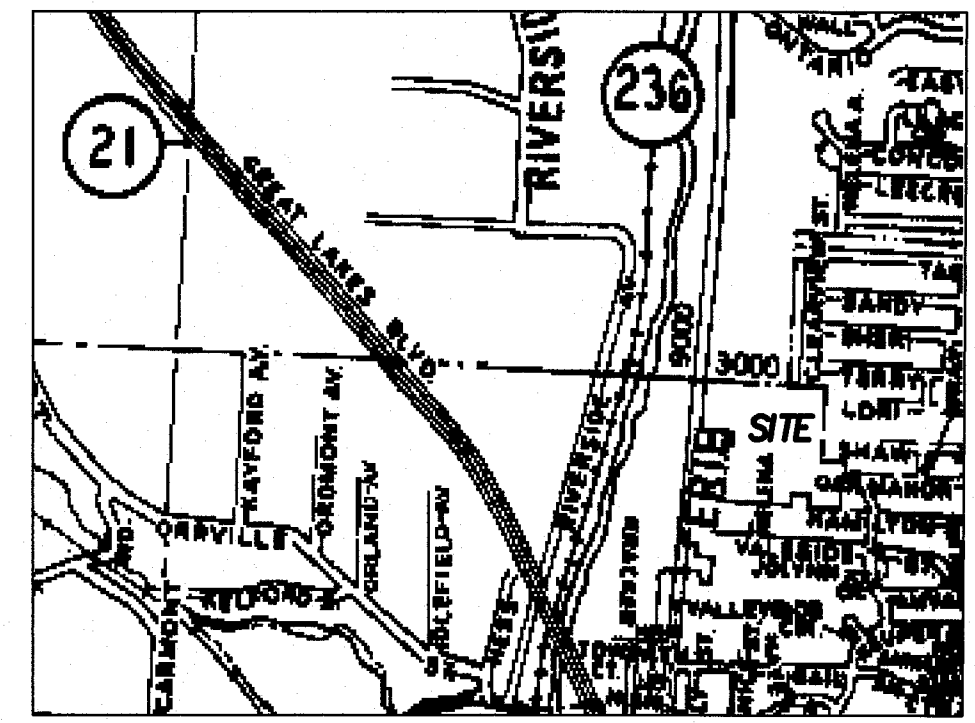
NORTH  
COAST  
ARCHITECTS, INC.



23811 CHAGRIN BOULEVARD  
SUITE 160  
BEACHWOOD, OHIO 44122  
PHONE: 216-464-7494  
FAX: 216-464-3046

# EXISTING CONDITION NOTES

- 1) THE UTILITY AND SEWER INFORMATION SHOWN HEREON EITHER ON OR ABOVE GROUND ARE EXISTING AND WERE PHYSICALLY LOCATED IN THE FIELD AND IS ACCURATE. ALL UNDERGROUND INFORMATION SHOWN WAS TAKEN FROM PLANS PROVIDED BY THEIR RESPECTIVE UTILITY COMPANIES AND RECEIVED BY JULY 12, 2010, AND WE CAN NOT GUARANTEE THEIR ACCURACY OR COMPLETENESS. IF AND WHEN WE RECEIVE ANY ADDITIONAL UTILITY OR SEWER PLANS, WE WILL REVISE OUR SURVEY AND ISSUE NEW PRINTS ACCORDINGLY.
- 2) LOCATION AND ELEVATION OF ALL CONNECTIONS TO EXISTING UTILITIES ARE TO BE FIELD VERIFIED AT THE TIME OF CONSTRUCTION.
- 3) BEARINGS AND DISTANCES SHOWN HEREON ARE TO AN ASSUMED MERIDIAN AND ARE USED TO DENOTE ANGLES ONLY. DISTANCES ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF.
- 4) ALL IRON PINS SHOWN AS SET ARE 30" LONG 1/2" REBAR WITH AN IDENTIFICATION CAP STAMPED "MCSTEEN & ASSOC."
- 5) SEE SHEET C1 FOR BOUNDARY PLAN, PROPERTYLINE INFORMATION AND PROPERTY CORNERS.



## STRUCTURE LEGEND

### EXISTING

- UTILITY POLE
- LIGHT POLE
- TRAFFIC POLE
- GROUND LIGHT
- CLEAN OUT
- WATER VALVE
- WATER METER
- GAS VALVE
- GAS METER
- STEEL POST
- CATCH BASIN
- STORM MANHOLE
- SANITARY MANHOLE
- HYDRANT
- SIGN
- WATER MANHOLE
- TELEPHONE MANHOLE
- ELECTRIC MANHOLE
- ELECTRIC TRANSFORMER
- AIR CONDITIONING UNIT
- BOLLARD
- SWALE
- EX. CONTOUR

## SITE INFORMATION

PARCEL NUMBER: 0619471  
OUTLOT NUMBER: 1076  
ZONING: RM-1 MULTIPLE FAMILY RESIDENTIAL DISTRICT  
OWNER: AMHERST ALLIANCE LLC  
ACRAGE: 5.9860 ACRES

## FLOOD ZONE DESIGNATION

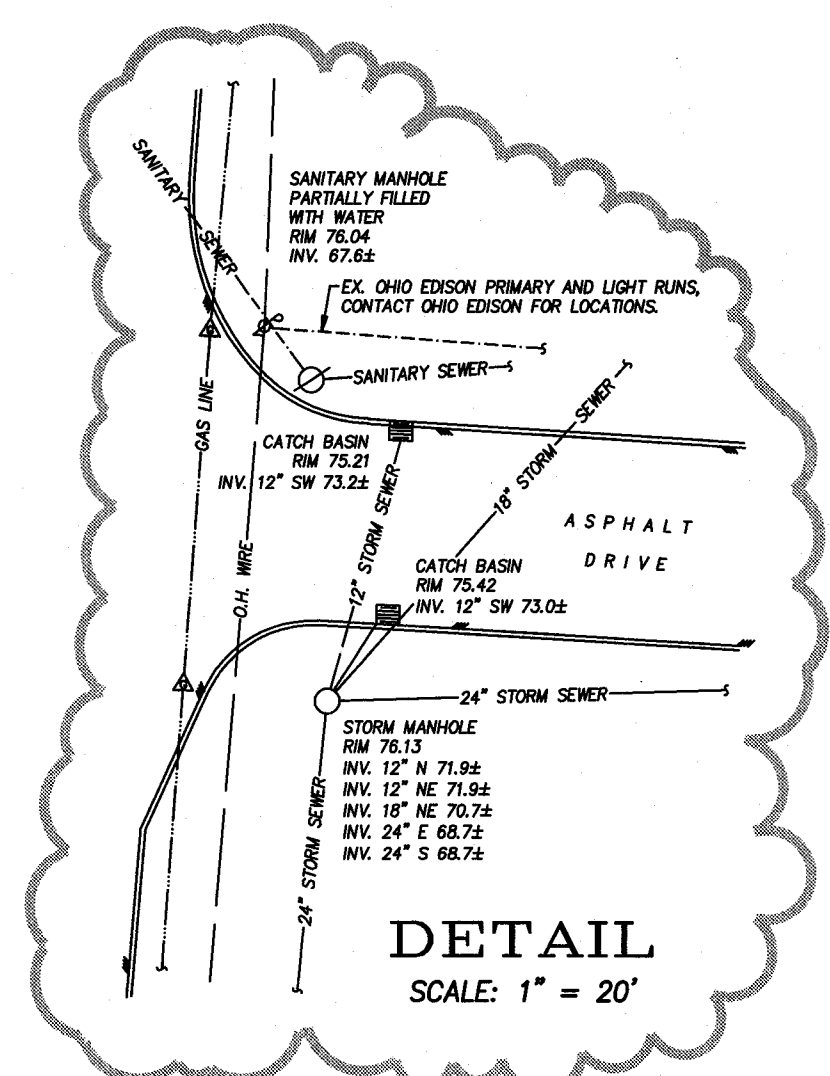
FLOOD ZONE "C"  
"AREA OF MINIMAL FLOODING"  
COMMUNITY PANEL No. 390517-0002C  
EFFECTIVE DATE: JULY 5, 1982

ADDITION AND RENOVATION TO:  
AMHERST MEADOWS  
1610 FIRST STREET NE.  
MASSILLON, OHIO

GENERAL EXISTING CONDITION SURVEY

0909

C-2



PROJECT BENCH MARK  
TOP OF HYDRANT  
ELEVATION: 84.54 (ASSUMED)

1st STREET NE 66"  
(AKA ERIE AVENUE)

## EXISTING UTILITIES

THIS LIST MAY NOT  
CONTAIN ALL UTILITIES  
IT IS THE CONTRACTOR'S  
RESPONSIBILITY TO  
CONFIRM COMPLETENESS  
OF THIS LIST.

A T & T  
10 WEST BROAD STREET  
COLUMBUS, OHIO 43215  
PH 1-800-252-1133

DOMINION EAST OHIO GAS  
MR. GARY EISKY  
PO BOX 5759  
CLEVELAND, OHIO 44101-0759  
PH 216-736-6725 FAX 216-736-6710

AQUA OHIO  
870 3RD STREET NW  
MASSILLON, OHIO 44647  
PH 330-833-4156

SANITARY CITY OF MASSILLON  
151 LINCOLN WAY  
MASSILLON, OHIO 44646  
PH 330-830-1722

OHIO EDISON  
MR. OZZ JOHNSON  
75 SOUTH MAIN STREET  
AKRON, OHIO 44308  
PH 1-330-384-5713

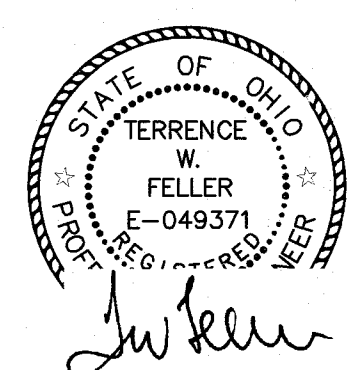
MASSILLON CABLE  
PO BOX 1000  
MASSILLON, OHIO 44648-1000  
PH 330-833-4134 FAX 330-833-9775

2 WORKING DAYS  
BEFORE YOU DIG  
CALL TOLL FREE 800-362-2764  
OHIO UTILITIES PROTECTION SERVICE

GRAPHIC SCALE  
(IN FEET)  
1 inch = 40 ft.

McSTEEN AND ASSOCIATES, INC.

ENGINEERS & SURVEYORS  
1415 EAST 286th STREET - WICKLIFFE, OH 44092  
PHONE: 1-440-585-9800 FAX: 1-440-585-9802



PROJECT ID: 2689  
PROJECT NUMBER:  
10-101



# EXISTING CONDITION NOTES

- 1) THE UTILITY AND SEWER INFORMATION SHOWN HEREON EITHER ON OR ABOVE GROUND WAS PHYSICALLY LOCATED IN THE FIELD AND IS ACCURATE. ALL UNDERGROUND INFORMATION SHOWN WAS TAKEN FROM PLANS PROVIDED BY THEIR RESPECTIVE UTILITY COMPANIES AND RECEIVED BY THE DATE SHOWN ON THIS DRAWING AS THE DRAWING DATE, AND WE CAN NOT GUARANTEE THEIR ACCURACY OR COMPLETENESS. IF AND WHEN WE RECEIVE ANY ADDITIONAL UTILITY OR SEWER PLANS, WE WILL REVISE OUR SURVEY AND ISSUE NEW PRINTS ACCORDINGLY.
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- 4) ALL IRON PINS SHOWN AS SET ARE 30" LONG 1/2" REBAR WITH AN IDENTIFICATION CAP STAMPED "MCSTEEN & ASSOC."
- 5) SEE SHEET C1 FOR PROPERTY BOUNDARY.

## EXISTING UTILITIES

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A T & T  
10 WEST BROAD STREET  
COLUMBUS, OHIO 43215  
PH 1-800-252-1133

DOMINION EAST OHIO GAS  
MR. GARY EISKY  
PO BOX 5759  
CLEVELAND, OHIO 44101-0759  
PH. 216-736-6725 FAX 216-736-6710

AQUA OHIO  
870 3RD STREET NW  
MASSILLON, OHIO 44647  
PH. 330-833-4156

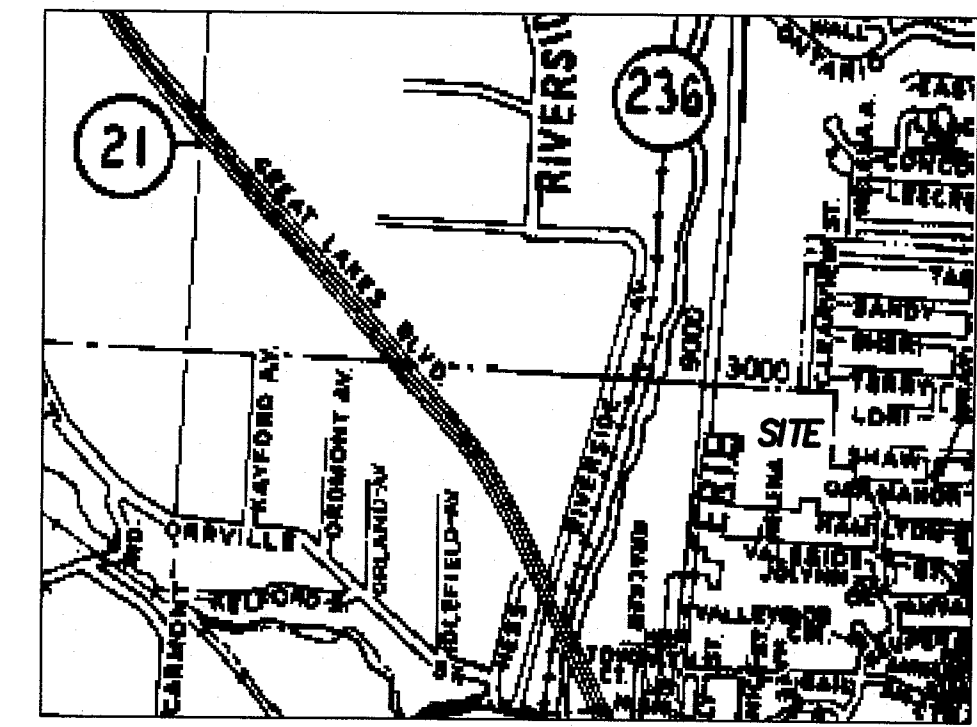
SANITARY CITY OF MASSILLON  
151 LINCOLN WAY  
MASSILLON, OHIO 44646  
PH. 330-830-1722

OHIO EDISON  
MR. OZZ JOHNSON  
75 SOUTH MAIN STREET  
AKRON, OHIO 44308  
PH 1-330-384-5713

MASSILLON CABLE  
PO BOX 1000  
MASSILLON, OHIO 44648-1000  
PH. 330-833-4134 FAX 330-833-9775

## EXISTING STRUCTURE LEGEND

- |               |                       |
|---------------|-----------------------|
| UTILITY POLE  | SANITARY MANHOLE      |
| LIGHT POLE    | HYDRANT               |
| TRAFFIC POLE  | SIGN                  |
| GROUND LIGHT  | WATER MANHOLE         |
| CLEAN OUT     | TELEPHONE MANHOLE     |
| WATER VALVE   | ELECTRIC MANHOLE      |
| WATER METER   | ELECTRIC TRANSFORMER  |
| GAS VALVE     | AIR CONDITIONING UNIT |
| GAS METER     | BOLLARD               |
| STEEL POST    | SWALE                 |
| CATCH BASIN   | EX. CONTOUR           |
| STORM MANHOLE |                       |



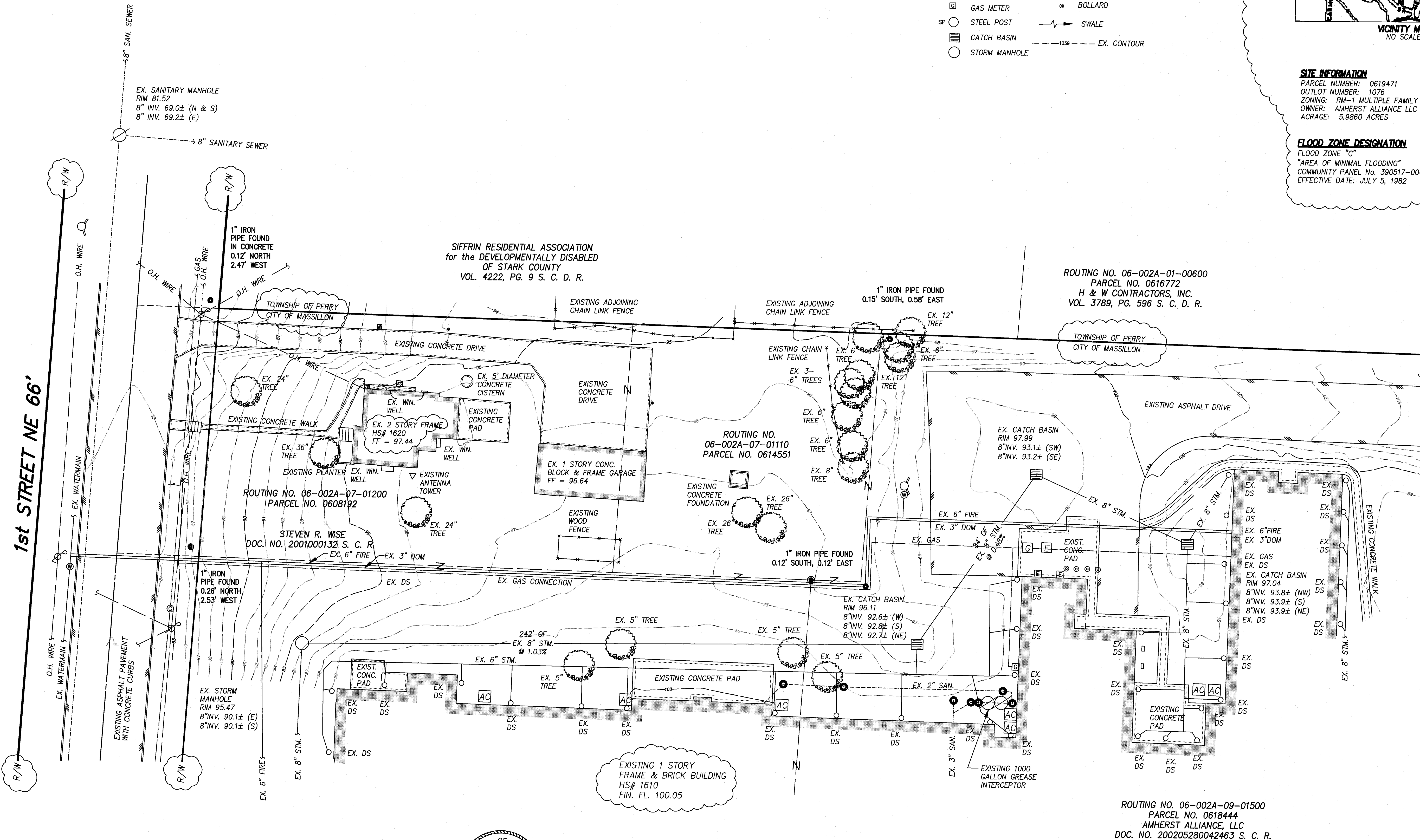
VICINITY MAP  
NO SCALE

## SITE INFORMATION

PARCEL NUMBER: 0619471  
OUTLOT NUMBER: 1076  
ZONING: RM-1 MULTIPLE FAMILY RESIDENTIAL DISTRICT  
OWNER: AMHERST ALLIANCE LLC  
ACRAGE: 5.9860 ACRES

## FLOOD ZONE DESIGNATION

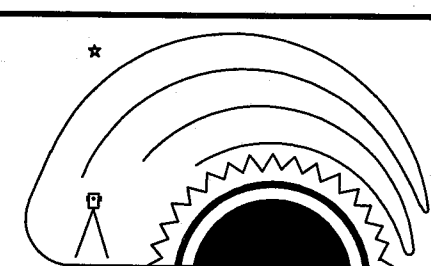
FLOOD ZONE "C"  
"AREA OF MINIMAL FLOODING"  
COMMUNITY PANEL No. 390517-0002C  
EFFECTIVE DATE: JULY 5, 1982



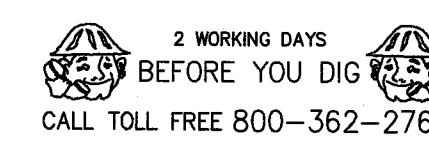
1st STREET NE 66'

McSTEEN AND ASSOCIATES, INC.

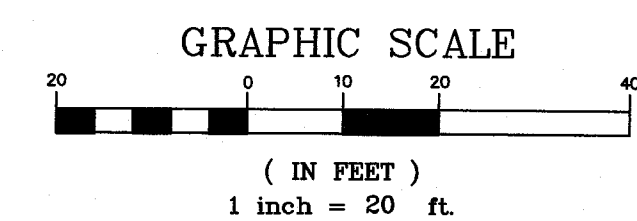
ENGINEERS & SURVEYORS  
1415 EAST 286th STREET - WICKLIFFE, OH 44092  
PHONE: 1-440-585-9800 FAX: 1-440-585-9802



PROJECT ID: 2689  
PROJECT NUMBER:  
10-101



ROUTING NO. 06-002A-09-01500  
PARCEL NO. 0618444  
AMHERST ALLIANCE, LLC  
DOC. NO. 200205280042463 S. C. R.



ADDITION AND RENOVATION TO:

AMHERST MEADOWS

1610 FIRST STREET NE.

MASSILLON, OHIO

SITE EXISTING CONDITION SURVEY

0909

NORTH  
COAST  
ARCHITECTS, INC.

23811 CHAGRIN BOULEVARD

SUITE 160

BEACHWOOD, OHIO 44122

PHONE: 216-464-7494

FAX: 216-464-3046

DATE: 3 AUGUST 2010  
ISSUE: BUILDING PERMIT  
DATE: 2 SEPTEMBER 2010  
ISSUE: CITY ENGR. REV.

C - 3



# **ABBREVIATED STORM WATER EROSION PREVENTION NOTES**

- 1) ALL STORM WATER EROSION PREVENTION PRACTICES MUST BE INSTALLED FIRST BEFORE ANY EARTH MOVING OCCURS.
- 2) OTHER EROSION CONTROL ITEMS MAY BE NECESSARY DUE TO ENVIRONMENTAL CONDITIONS AND MUST BE INSTALLED BY THE SITE CONTRACTOR.
- 3) REGULAR INSPECTION AND MAINTENANCE MUST BE PROVIDED FOR ALL EROSION CONTROL PRACTICES BY THE SITE CONTRACTOR.
- 4) ALL EROSION CONTROL PRACTICES MUST MEET THE STANDARDS AND SPECIFICATIONS OF "RAINWATER AND LAND DEVELOPMENT" IN THE OHIO STANDARDS FOR STORM WATER MANAGEMENT LAND DEVELOPMENT AND AND URBAN STREAM PROTECTION.
- 5) THE CONTRACTOR SHALL SEED AND MULCH ALL DISTURBED AREAS WITHIN SEVEN (7) DAYS IF THEY ARE TO REMAIN DORMANT (UNDISTURBED) FOR MORE THAN THIRTY (30) DAYS.
- 6) SCREEN BARRIERS SHALL BE PLACED AROUND ALL NEW CATCH BASIN INLETS. EXISTING INLETS IN PAVED AREAS SHALL HAVE THE GRATE REMOVED, WRAPPED WITH FILTER CLOTH AND REINSTALLED.
- 7) COORDINATE WORK ALONG RIGHT OF WAY WITH GOVERNMENTAL AGENCIES, INCLUDING: ROAD OPENING AND SIDEWALK PERMITS, SEWER CONNECTION PERMIT AND WATERLINE CONNECTION PERMIT.
- 8) REFER TO UTILITY, ELECTRIC AND ARCHITECTURAL PLANS FOR REMOVAL AND OR RELOCATION OF SITE UTILITIES.
- 9) PRIOR TO START OF CONSTRUCTION AND AFTER THE INSTALLATION OF EROSION MEASURES THE CONTRACTOR SHALL CLEAR AND GRUB THE SITE PER ODOT ITEM 201. ALL ORGANIC MATERIAL SHALL BE REMOVED FROM THE SITE AND BE DISPOSED OF PROPERLY.
- 10) COORDINATION OF SERVICES TO ADJOINING PROPERTIES DURING DEMOLITION IS THE RESPONSIBILITY OF THE CONTRACTOR. SAFETY AND PUBLIC PROTECTION SHALL BE THE CONTRACTORS RESPONSIBILITY.
- 11) PROTECTION OF SURVEY POINTS AND MONUMENTATION SHALL BE THE COMPLETE RESPONSIBILITY OF THE CONTRACTOR AND THEIR AGENTS.
- 12) THE CONTRACTOR SHALL STRIP TOPSOIL FROM THE SITE AS SHOWN AND STOCKPILED PER ODOT ITEM 653. REINSTALL TOPSOIL AT 2" MIN. IN LAWN AREAS AND 12" MIN. IN MOUND AREAS OR AS DIRECTED BY THE LANDSCAPE PLAN. EXCESS SOIL SHALL BE DISPOSED OFF SITE AT NO ADDITIONAL COST TO THE OWNER.
- 13) ALL CONSTRUCTION, UNLESS SPECIFICALLY AMENDED ON THIS DRAWING SHALL BE COMPLETED TO STATE OF OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATION BOOK, LATEST EDITION.

## **ABBREVIATED STORM WATER POLLUTION PREVENTION NOTES:**

- SEDIMENT PONDS/TRAPS AND PERIMETER CONTROLS SHALL BE IMPLEMENTED AS A FIRST STEP OF GRADING AND WITHIN 7 DAYS FROM START OF GRUBBING AND SHALL CONTINUE TO FUNCTION UNTIL UPLAND AREAS ARE STABILIZED.
- DISTURBED AREAS WHICH WILL REMAIN UNWORKED FOR A PERIOD OF 21 DAYS OR MORE SHALL BE STABILIZED WITH SEEDING AND MULCHING OR OTHER APPROPRIATE MEANS WITHIN 7 DAYS.
- EROSION CONTROL BLANKETS WITH MATTING WILL BE USED ON DITCHES GREATER THAN 1.5% AND ALL OTHER SLOPES GREATER THAN 6% GRADE.
- BUILDER IS RESPONSIBLE FOR EROSION CONTROL ON INDIVIDUAL LOT. BUILDER MUST FILE INDIVIDUAL NOTICE OF INTENT (NOI) WITH OEPA.
- CONCRETE WASH OUT WATER MUST BE HAULED BACK TO THE PLANT FOR DISPOSAL.
- NO SOLID OR LIQUID WASTES SHALL BE DISCHARGED INTO STORM WATER RUN OFF.
- OFF-SITE VEHICLE TRACKING SEDIMENT SHALL BE MINIMIZED. CONSTRUCTION VEHICLES ARE LIMITED TO THE CONSTRUCTION ACCESS ROAD NOTED ON THE PLAN.
- ALL EROSION AND SEDIMENT CONTROL PRACTICES MUST MEET THE STANDARDS AND SPECIFICATIONS OF THE OHIO RAINWATER AND LAND DEVELOPMENT HANDBOOK (2006).
- OTHER EROSION AND SEDIMENT CONTROL ITEMS MAY BE NECESSARY DUE TO ENVIRONMENTAL CONDITIONS.
- REGULAR INSPECTIONS AND MAINTENANCE WILL BE PROVIDED FOR ALL EROSION AND SEDIMENT CONTROL PRACTICES. PERMANENT RECORDS OF MAINTENANCE AND INSPECTIONS MUST BE KEPT THROUGHOUT THE CONSTRUCTION PERIOD. INSPECTIONS MUST BE MADE A MINIMUM OF ONCE EVERY 7 DAYS AND IMMEDIATELY AFTER A STORM EVENT GREATER THAN 0.5 INCHES OF RAIN IN A 24 HOUR PERIOD. PROVIDE NAME OF INSPECTOR, MAJOR OBSERVATIONS, DATE OF INSPECTION AND CORRECTIVE MEASURES TAKEN.
- WINTERIZATION- ANY DISTURBED AREA THAT IS NOT GOING TO BE WORKED FOR 21 DAYS OR MORE MUST BE SEED AND MULCHED BY NOVEMBER 1 OR MUST HAVE A DORMANT SEEDING OR MULCH COVER APPLIED BETWEEN NOVEMBER 1 AND MARCH 1.

## **ABBREVIATED SWP'S NOTES:**

THE PROPERTY WILL HAVE AN EXISTING STRUCTURE REMOVED AND A BUILDING ADDITION INSTALLED WITH DISTURBANCE OF ABOUT 0.80 ACRES THEREFORE THE SITE WILL NOT NEED A PERMIT TO INSTALL APPLICATION NOR REQUIRE A CONSTRUCTION GENERAL PERMIT OF OHIO EPA. THE AREA WILL BE USED FOR A BUILDING ADDITION. THE RUN OFF SHALL BE RECEIVED BY ONSITE STORM SEWERS AND DISCHARGED TO THE CITY STREET SEWERS WITH A POND INSTALLED WITH OVERFLOW ELEVATIONS AS SEEN IN THE EXISTING STORM SYSTEM. THERE WILL BE NO TOXIC WASTE OR CONTAMINANT STORAGE.

THE CONTRACTOR SHALL PREVENT AND/OR REDUCE AND CONTROL SOIL EROSION RESULTING FROM PROPOSED IMPROVEMENTS. THE USE OF SILT FENCING, JUTE MATTING, TEMPORARY SEEDING, SILT CHECKS, INLET PROTECTION AROUND ALL CATCH BASINS, STABILIZED CONSTRUCTION ENTRANCE ETC. WILL BE REQUIRED. SEDIMENT CONTROL STRUCTURES/DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL RAINWATER AND LAND DEVELOPMENT OHIO'S STANDARD FOR STORMWATER MANAGEMENT LAND DEVELOPMENT AND URBAN STREAM PROTECTION. SEDIMENT CONTROL DEVICES MUST BE INSTALLED PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTINUED INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL DEVICES. THE CONTRACTOR SHALL FOLLOW THE REQUIREMENTS SET FORTH ON THE APPROVED STORMWATER POLLUTION PREVENTION PLAN IF APPLICABLE, OR AS DETAILED ON THE CONSTRUCTION PLANS AS SPECIFIED BY THE CITY OF MASSILLON.

NOTE "A": REMOVE EXISTING HOUSE, HS# 1620, COMPLETE INCLUDING FOUNDATION, FOOTERS AND ALL UTILITIES. REMOVE WATER, SANITARY, STORM, GAS AND ELECTRIC CONNECTIONS PER CITY CODE AND REQUIREMENTS. REMOVE REAR CONCRETE PAD COMPLETE.

NOTE "B": SEE SHEETS C6 AND C7, GRADING AND UTILITY PLANS, FOR REMOVAL OR RELOCATION OF EXISTING UTILITIES AND INSTALLATION OF NEW OR RELOCATED UTILITIES.

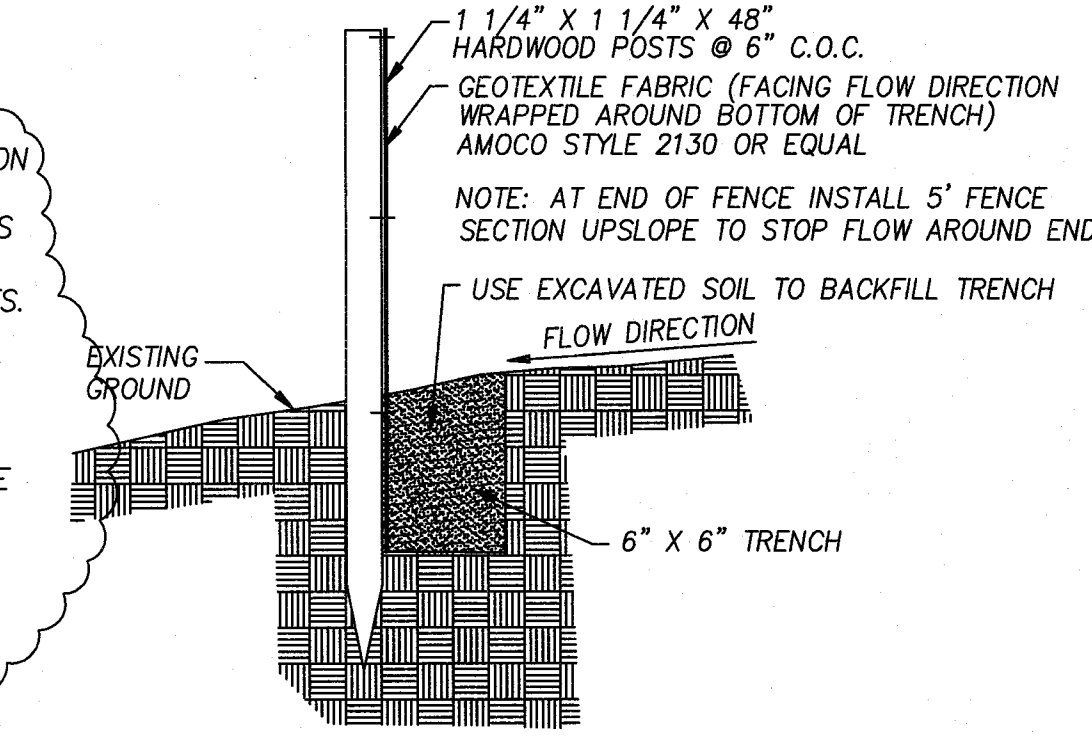
NOTE "C": EXISTING HOUSE SANITARY SEWER TO BE CUT AND CAPPED AT THE RIGHT OF WAY LINE. CONTACT CITY OF MASSILLON ENGINEERING DEPARTMENT FOR PERMIT AND INSPECTION REQUIREMENTS.

REMOVE EXISTING ADJOINING CHAIN LINK FENCE ON CONSTRUCTION for the DEVELOPMENTALLY DISABLED OF STARK COUNTY VOL. 4222, PG. 9 S. C. D. R.

FRAME & GRATE SEE NOTE NO. 6

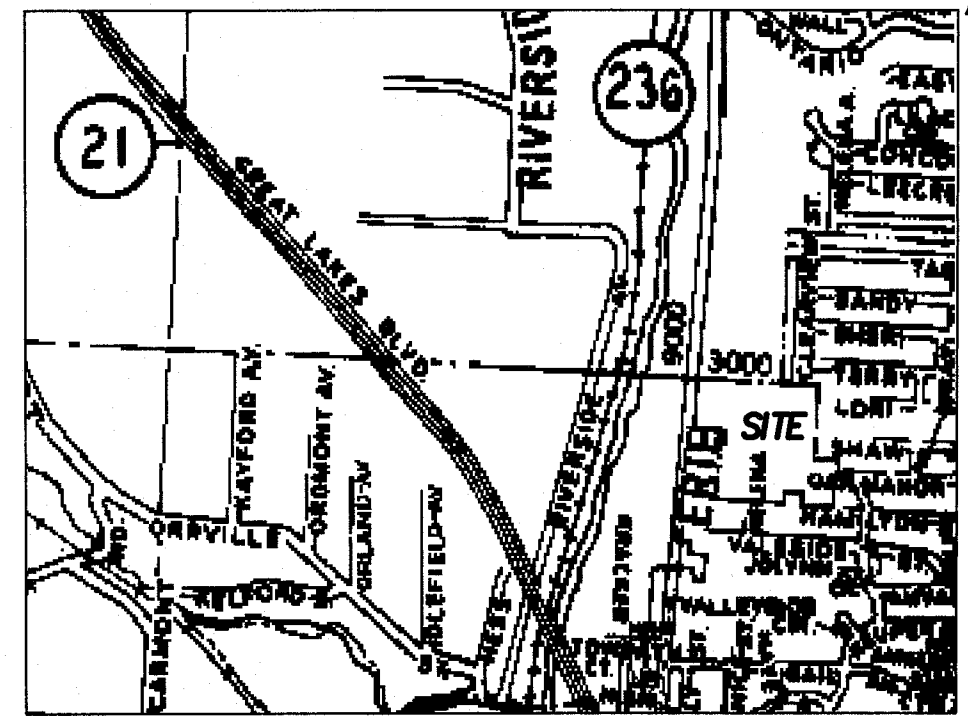
INSTALL EXXON GTF 150 GEOTEXTILE FABRIC WRAP REMOVE GRATE COMPLETELY WRAP AND REINSTALL

## **EROSION CONTROL (SB) FOR CB**



## **SILT FENCE (SF) DETAIL**

TYPICAL CROSS SECTION



## **EXISTING STRUCTURE LEGEND**

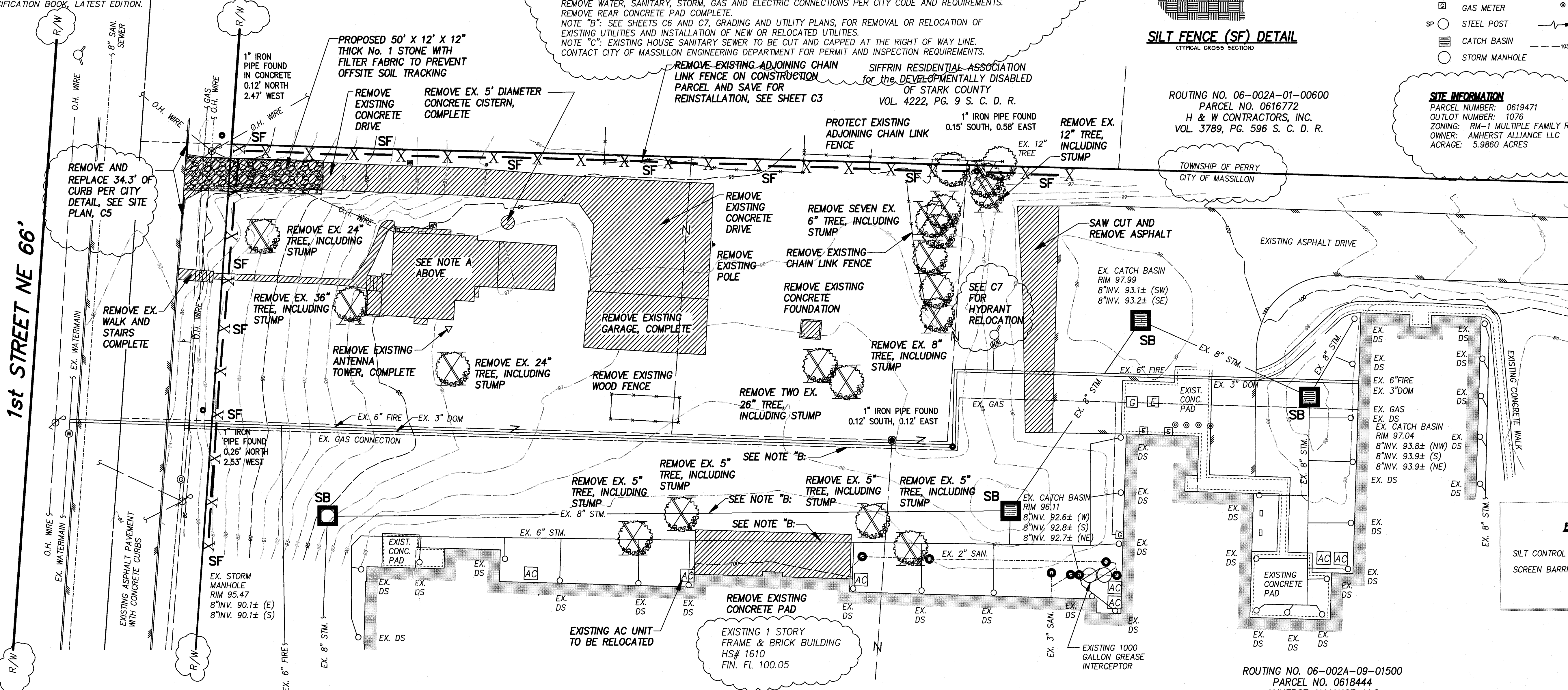
- |               |                       |
|---------------|-----------------------|
| UTILITY POLE  | SANITARY MANHOLE      |
| LIGHT POLE    | HYDRANT               |
| TRAFFIC POLE  | SIGN                  |
| GROUND LIGHT  | WATER MANHOLE         |
| CLEAN OUT     | TELEPHONE MANHOLE     |
| WATER VALVE   | ELECTRIC MANHOLE      |
| WATER METER   | ELECTRIC TRANSFORMER  |
| GAS VALVE     | AIR CONDITIONING UNIT |
| GAS METER     | BOLLARD               |
| STEEL POST    | SWALE                 |
| CATCH BASIN   | EX. CONTOUR           |
| STORM MANHOLE |                       |

## **SITE INFORMATION**

PARCEL NUMBER: 0619471  
OUTLOT NUMBER: 1078  
ZONING: RM-1 MULTIPLE FAMILY RESIDENTIAL DISTRICT  
OWNER: AMHERST ALLIANCE LLC  
ACRAGE: 5.9860 ACRES

ROUTING NO. 06-002A-01-00600  
PARCEL NO. 0616772  
H & W CONTRACTORS, INC.  
VOL. 3789, PG. 596 S. C. D. R.

TOWNSHIP OF PERRY  
CITY OF MASSILLON



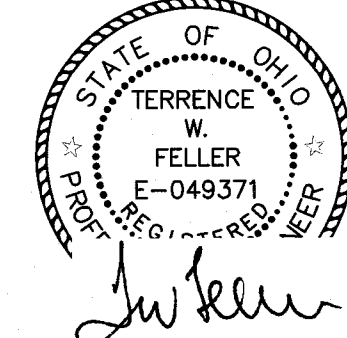
## **EROSION LEGEND**

SILT CONTROL FENCE (SF) X-X-X-X-X  
SCREEN BARRIER (SB)

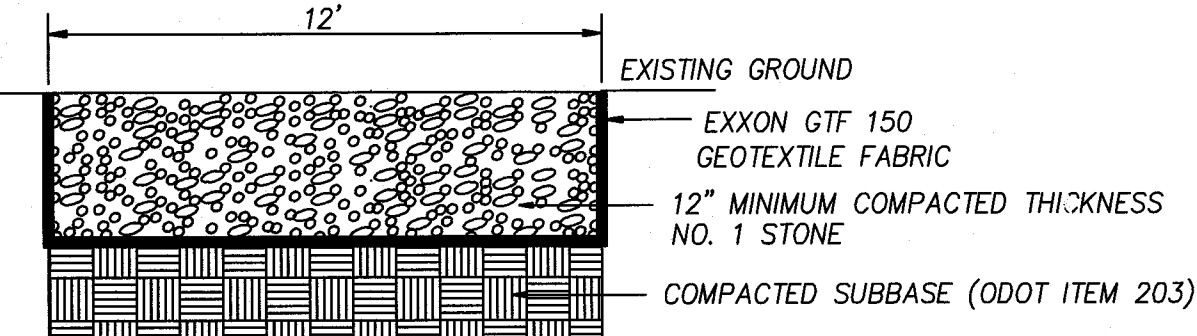
2 WORKING DAYS  
BEFORE YOU DIG  
CALL TOLL FREE 800-362-2764  
OHIO UTILITIES PROTECTION SERVICE  
OUPS NOTIFICATION FOR  
PLANS ONLY #A020902126

**McSTEEN AND ASSOCIATES, INC.**

ENGINEERS & SURVEYORS  
1415 EAST 286th STREET - WICKLIFFE, OH 44092  
PHONE: 1-440-585-9800 FAX: 1-440-585-9802



PROJECT ID: 2689  
PROJECT NUMBER:  
**10-101**



## **STABILIZED CONSTRUCTION ENTRANCE**

NO SCALE  
INSTALL PER OHIO'S STANDARDS FOR STORMWATER MANAGEMENT LAND DEVELOPMENT AND URBAN STREAM PROTECTION

## **EXISTING UTILITIES**

THIS LIST MAY NOT CONTAIN ALL UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM COMPLETENESS OF THIS LIST.

A T & T  
10 WEST BROAD STREET  
COLUMBUS, OHIO 43215  
PH 1-800-252-1133

DOMINION EAST OHIO GAS  
MR. GARY EISKY  
PO BOX 5759  
CLEVELAND, OHIO 44101-0759  
PH 216-736-6725 FAX 216-736-6710

SANITARY CITY OF MASSILLON  
151 LINCOLN WAY  
MASSILLON, OHIO 44646  
PH 330-830-1722

OHIO EDISON  
MR. OZZ JOHNSTON  
75 SOUTH MAIN STREET  
AKRON, OHIO 44308  
PH 1-330-384-5713

MASSILLON CABLE  
PO BOX 1000  
MASSILLON, OHIO 44648-1000  
PH 330-833-4134 FAX 330-833-9775

GRAPHIC SCALE  
( IN FEET )  
1 inch = 20 ft.

**ADDITION AND RENOVATION TO:**  
**AMHERST MEADOWS**  
**1610 FIRST STREET NE.**  
**MASSILLON, OHIO**

DEMOLITION AND ABBREVIATED SWPP PLAN

0909

DATE: 3 AUGUST 2010  
ISSUE: BDI/BLG PERMIT  
DATE: 2 SEPTEMBER 2010  
ISSUE: CITY ENGR. REV.

C - 4

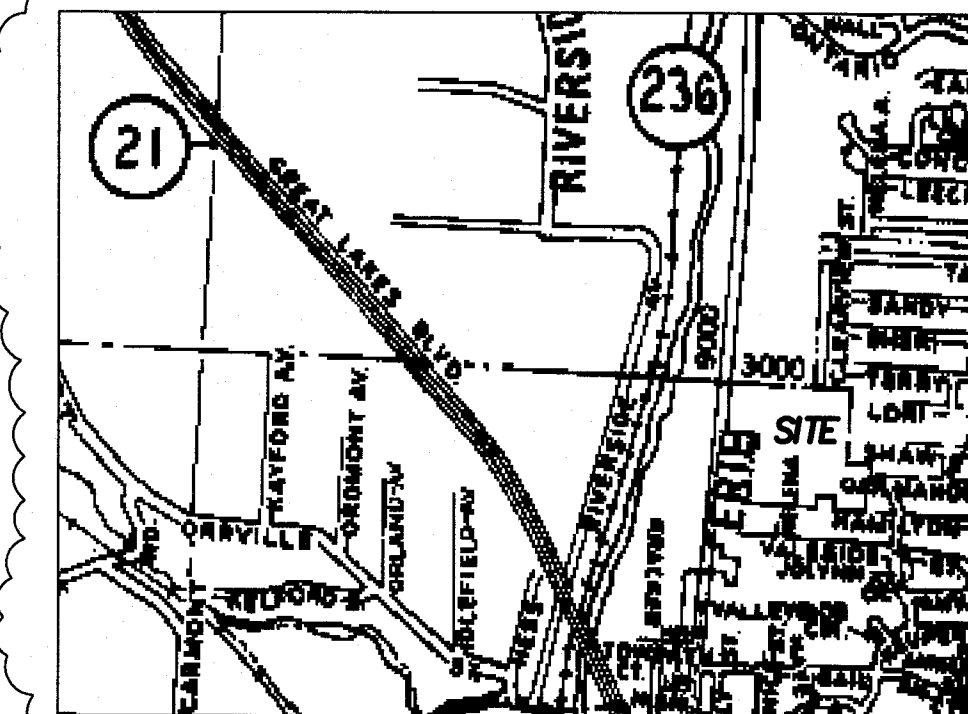
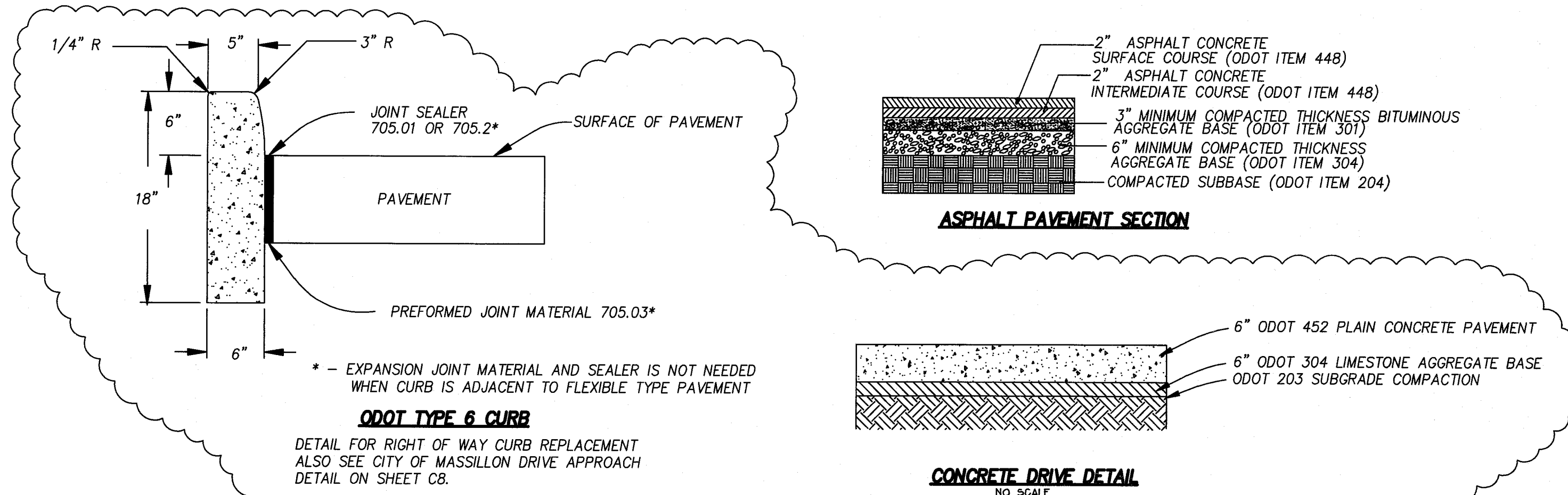
**NORTH**  
**COAST**  
**ARCHITECTS, INC.**

23811 CHAGRIN BOULEVARD  
SUITE 160  
BEACHWOOD, OHIO 44122  
PHONE: 216-464-7494  
FAX: 216-464-3046



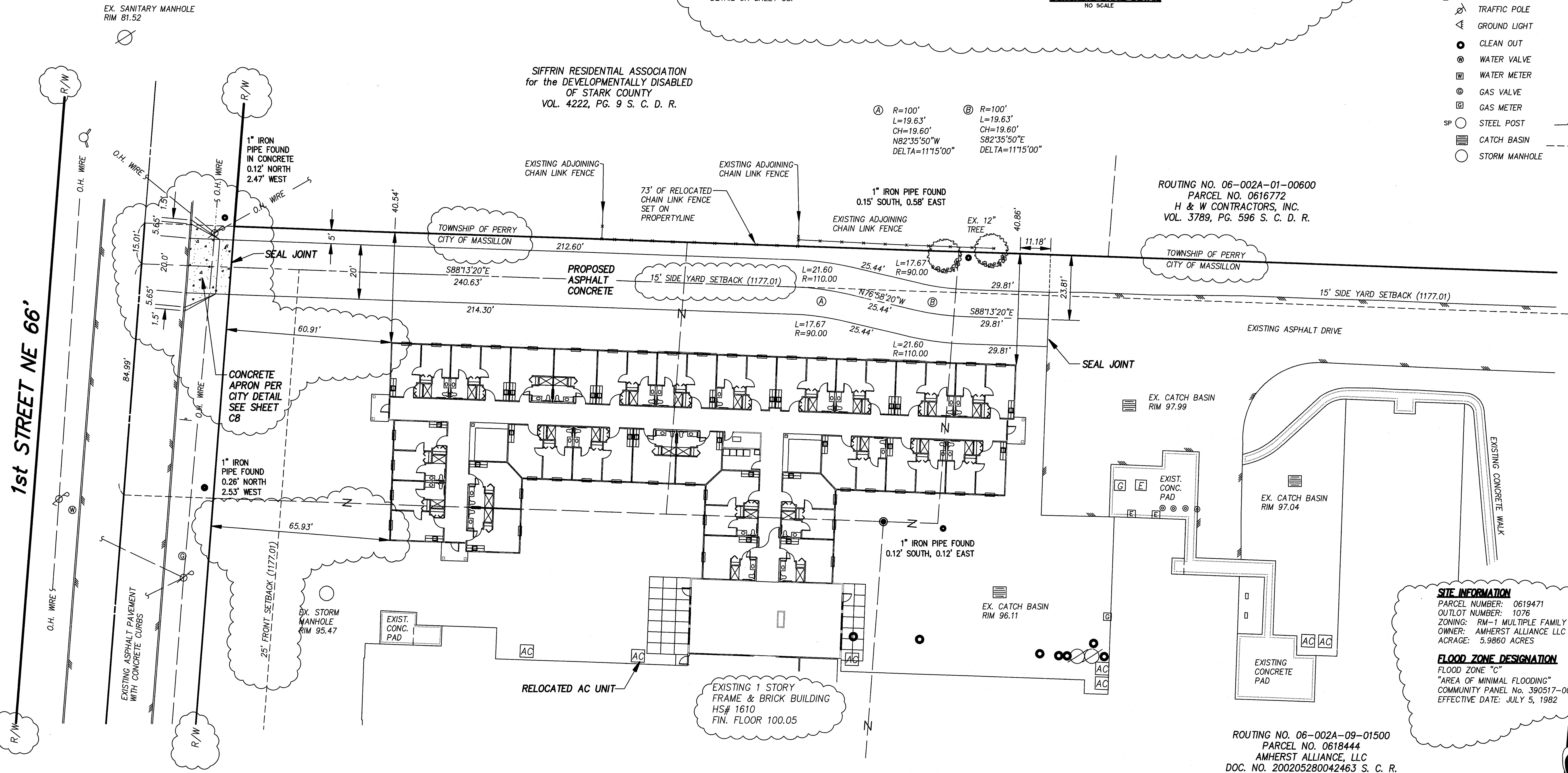
# GENERAL SITE NOTES

- 1) SEE EROSION PLAN FOR EROSION WORK TO BE COMPLETED BEFORE STARTING ANY SITE WORK.
- 2) SEE LANDSCAPE PLAN FOR PROTECTION OF EXISTING PLANTINGS AND ALL SEEDING, MULCHING AND PLANTING ITEMS.
- 3) SEE ELECTRICAL PLAN FOR ALL SITE LIGHTING DEMOLITION AND SITE LIGHTING CONSTRUCTION.
- 4) SEE ARCHITECTURAL DRAWINGS FOR ALL EXACT BUILDING LAYOUT INFORMATION.
- 5) SEE UTILITY PLAN FOR ALL UTILITY LAYOUT INFORMATION.
- 6) SEE EXISTING CONDITION SURVEY PLAN FOR TOPOGRAPHIC CONDITIONS AND PROPERTY LINE DATA.
- 7) CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THE GROUND AND IF DISCREPANCIES EXIST THEY SHALL REPORT THESE TO THE OWNER'S REPRESENTATIVE.
- 8) THE SCALING OF DIMENSIONS FROM THE DRAWING SHALL NOT BE DONE. ALL WRITTEN DIMENSIONS SHALL GOVERN. ALL ANGLES ARE 90° UNLESS OTHERWISE SPECIFIED. DIMENSIONS ARE FACE OF CURB TO FACE OF CURB OR FACE OF BUILDING.
- 9) WORK LIMITS SHALL BE THE PROPERTY LINES OF THIS PARCEL OR AS SHOWN ON THE DRAWING.
- 10) COORDINATE WORK ALONG RIGHT OF WAY WITH GOVERNMENTAL AGENCIES.
- 11) ALL CONSTRUCTION, UNLESS SPECIFICALLY AMENDED ON THIS DRAWING SHALL BE COMPLETED TO STATE OF OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATION BOOK, LATEST EDITION.
- 12) SEE SHEET C1 FOR PROPERTY BOUNDARY.



## EXISTING STRUCTURE LEGEND

- |               |                       |
|---------------|-----------------------|
| UTILITY POLE  | SANITARY MANHOLE      |
| LIGHT POLE    | HYDRANT               |
| TRAFFIC POLE  | SIGN                  |
| GROUND LIGHT  | WATER MANHOLE         |
| CLEAN OUT     | TELEPHONE MANHOLE     |
| WATER VALVE   | ELECTRIC MANHOLE      |
| WATER METER   | ELECTRIC TRANSFORMER  |
| GAS VALVE     | AIR CONDITIONING UNIT |
| GAS METER     | BOLLARD               |
| STEEL POST    | SWALE                 |
| CATCH BASIN   | EX. CONTOUR           |
| STORM MANHOLE |                       |



**SITE INFORMATION**

PARCEL NUMBER: 0619471  
OUTLOT NUMBER: 1076  
ZONING: RM-1 MULTIPLE FAMILY RESIDENTIAL DISTRICT  
OWNER: AMHERST ALLIANCE LLC  
ACRAGE: 5.9860 ACRES

**FLOOD ZONE DESIGNATION**

FLOOD ZONE "C"  
"AREA OF MINIMAL FLOODING"  
COMMUNITY PANEL No. 390517-0002C  
EFFECTIVE DATE: JULY 5, 1982

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2 WORKING DAYS  
BEFORE YOU DIG  
CALL TOLL FREE 800-362-2764  
OHIO UTILITIES PROTECTION SERVICE

## GRAPHIC SCALE

( IN FEET )  
1 inch = 20 ft.

McSTEEN AND ASSOCIATES, INC.

ENGINEERS & SURVEYORS  
1415 EAST 286th STREET - WICKLIFFE, OH 44092  
PHONE: 1-440-585-9800 FAX: 1-440-585-9802

PROJECT ID: 2689  
PROJECT NUMBER:  
10-101

ADDITION AND RENOVATION TO:  
AMHERST MEADOWS

1610 FIRST STREET NE.

MASSILLON, OHIO

SITE PLAN

0909

C-5

DATE: 3 AUGUST 2010  
ISSUE: BID/LOG PERMIT  
DATE: 2 SEPTEMBER 2010  
ISSUE: CITY ENGR. REV.

NORTH  
COAST  
ARCHITECTS, INC.

23811 CHAGRIN BOULEVARD

SUITE 160

BEACHWOOD, OHIO 44122

PHONE: 216-464-7494

FAX: 216-464-3046



GENERAL GRADING NOTES

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- 2) SEE LANDSCAPE PLAN FOR PROTECTION OF EXISTING PLANTINGS AND ALL SEEDING, MULCHING AND PLANTING ITEMS.
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- 9) WORK LIMITS SHALL BE THE PROPERTY LINES OF THIS PARCEL OR AS SHOWN ON THE DRAWING.
- 10) COORDINATE WORK ALONG RIGHT OF WAY WITH GOVERNMENTAL AGENCIES.
- 11) EXISTING CONTOURS ARE SHOWN AS DASHED LINES AND ARE AT 1 FOOT INCREMENTS.
- 12) THE INTENT OF SLOPES AND SPOT GRADES SHOWN ARE TO ASSURE DRAINAGE TO STORM WATER COLLECTION POINTS. GRADES SHALL NOT EXCEED 5% NOR BE LESS THAN 1% UNLESS SPECIFICALLY NOTED ON THE DRAWINGS.
- 13) SPOT ELEVATIONS SHOWN WITH BC ARE BOTTOM OF CURB ELEVATIONS. THOSE MARKED TO ARE TOP OF CURB.
- 14) ALL CONSTRUCTION, UNLESS SPECIFICALLY AMENDED ON THIS DRAWING SHALL BE COMPLETED TO STATE OF OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATION BOOK, LATEST EDITION.
- 15) SEE SHEET C1 FOR PROPERTY BOUNDARY.

GENERAL SEEDING AND MULCHING NOTE

SEED ALL DISTURBED AREAS DUE TO CONSTRUCTION UNLESS NOTED OTHERWISE. CONTRACTOR SHALL SEED AND MULCH ALL DISTURBED AREAS WITHIN 7 DAYS IF THEY ARE TO REMAIN DORMANT FOR MORE THAN 30 DAYS. ALL GRASS SEED AREAS SHALL BE MULCHED WITH DRY STRAW OR WOOD CELLULOSE FIBER IF HYDRO-SEEDED. STRAW SHALL BE HELD IN PLACE WITH TACKIFIERS SUCH AS AGRO TACKER BY AGRO DIVERSIFIED INDUSTRIES. APPLY TACKIFIER AT A RATE OF ONE DRY POUND OF MATERIAL TO FOUR GALLONS OF WATER.

MATERIAL SPECIFICATIONS:

SEEDING MIXTURE ANALYSIS	DESCRIPTION	GERMINATION
24.53%	ABBEY KENTUCKY BLUEGRASS	87%
24.53%	BANNER CHEWING FESCUE	90%
24.52%	KOKET CHEWING FESCUE	90%
23.02%	MANHATTAN II PERENNIAL RYEGRASS	92%

SEEDING RATE:

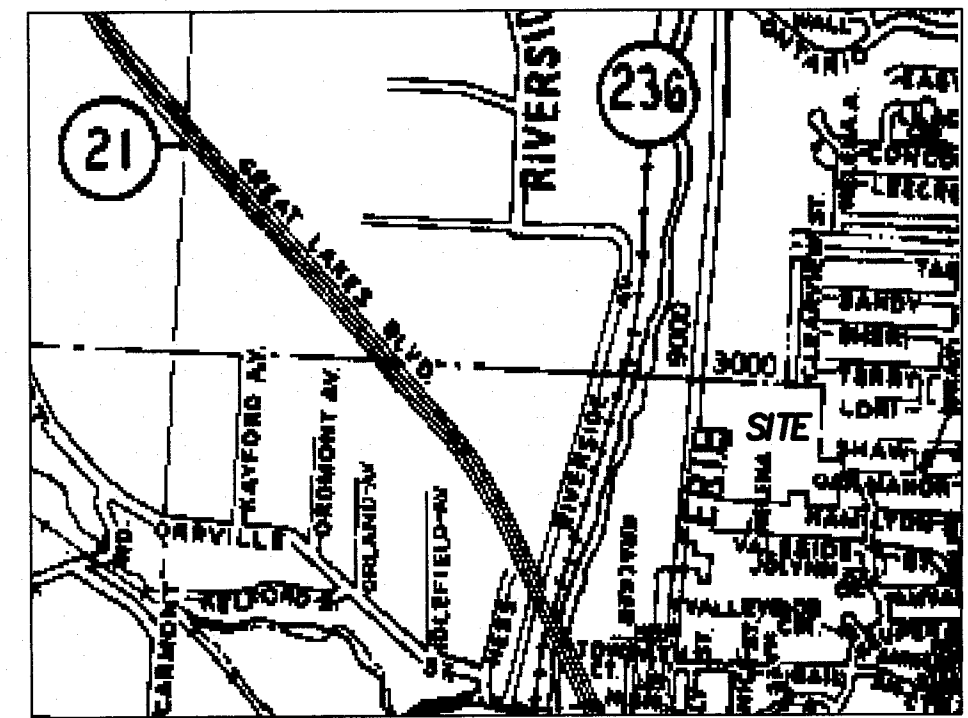
FOUR POUNDS PER 1000 SF FOR BROADCAST AND EIGHT POUNDS PER 1000 SF FOR HYDRO-SEEDING.

FERTILIZER FOR LAWN AREAS:

FERTILIZER SHALL BE HIGH PHOSPHORUS STARTER FERTILIZER AND SHALL MEET THE FOLLOWING

APPLY RATE OF 3.6 POUNDS PER 1000 SF.

- 1) 19% NITROGEN (MIN. OF 75% FROM UREA AND METHYLENE UREAS)
- 2) 26% MONOAMMONIUM PHOSPHATE
- 3) 5% POTASH



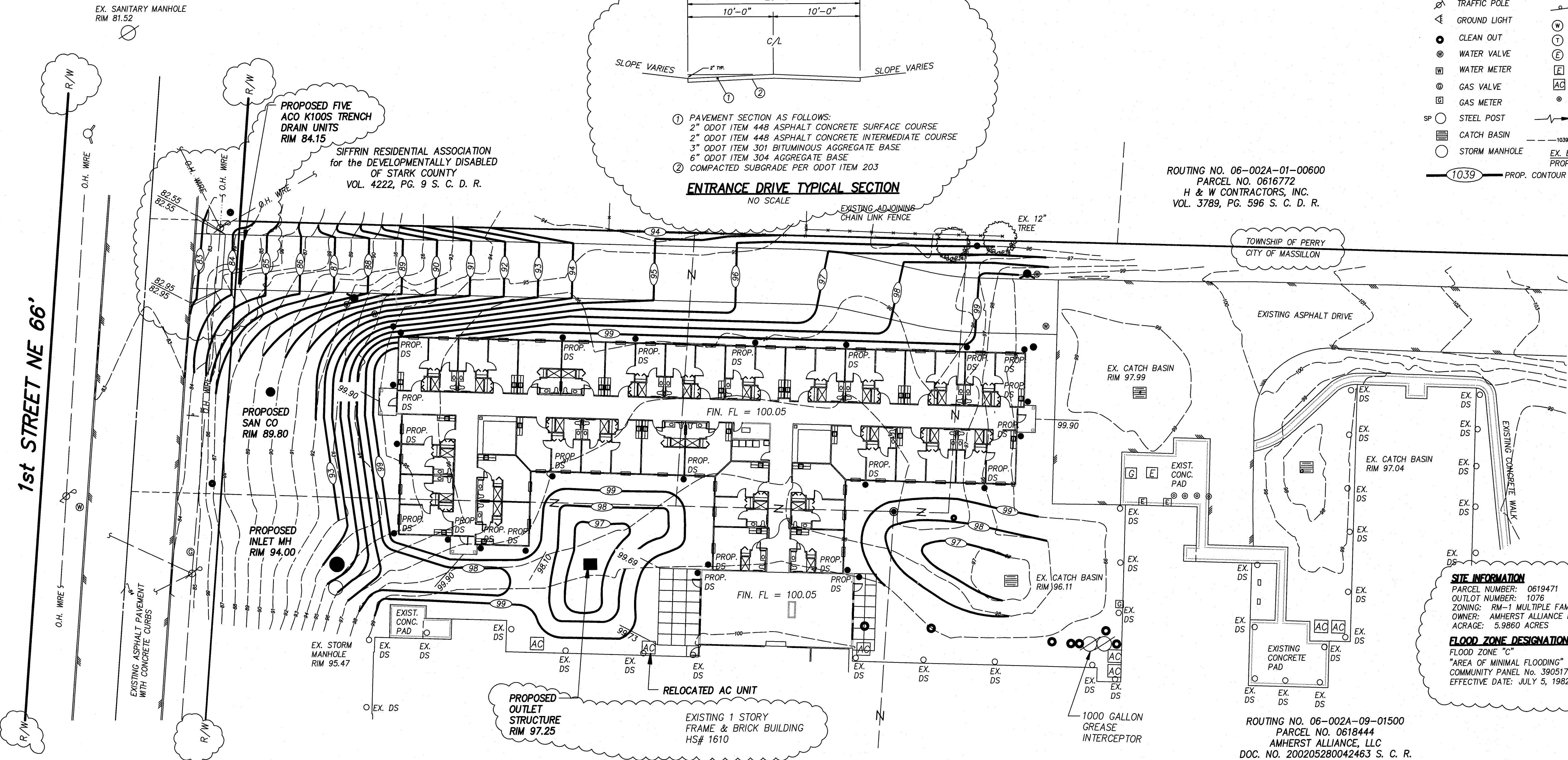
VICINITY MAP  
NO SCALE

STRUCTURE LEGEND

- |               |                       |
|---------------|-----------------------|
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| GAS METER     | BOLLARD               |
| STEEL POST    | SWALE                 |
| CATCH BASIN   | EX. CONTOUR           |
| STORM MANHOLE | EX. ELEV.             |
|               | PROP. ELEV.           |
|               | 1039 PROP. CONTOUR    |

ROUTING NO. 06-002A-01-00600  
PARCEL NO. 0616772  
H & W CONTRACTORS, INC.  
VOL. 3789, PG. 596 S. C. D. R.

ROUTING NO. 06-002A-09-01500  
PARCEL NO. 0618444  
AMHERST ALLIANCE, LLC  
DOC. NO. 200205280042463 S. C. R.



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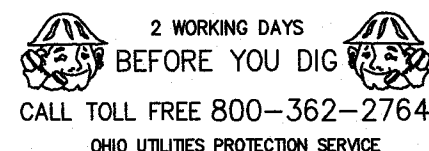
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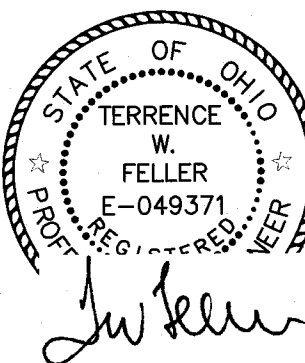
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ADDITION AND RENOVATION TO:

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GRADING AND UTILITY PLAN

0909

DATE: 9 AUGUST 2010  
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C - 6

NORTH

COAST

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23811 CHAGRIN BOULEVARD

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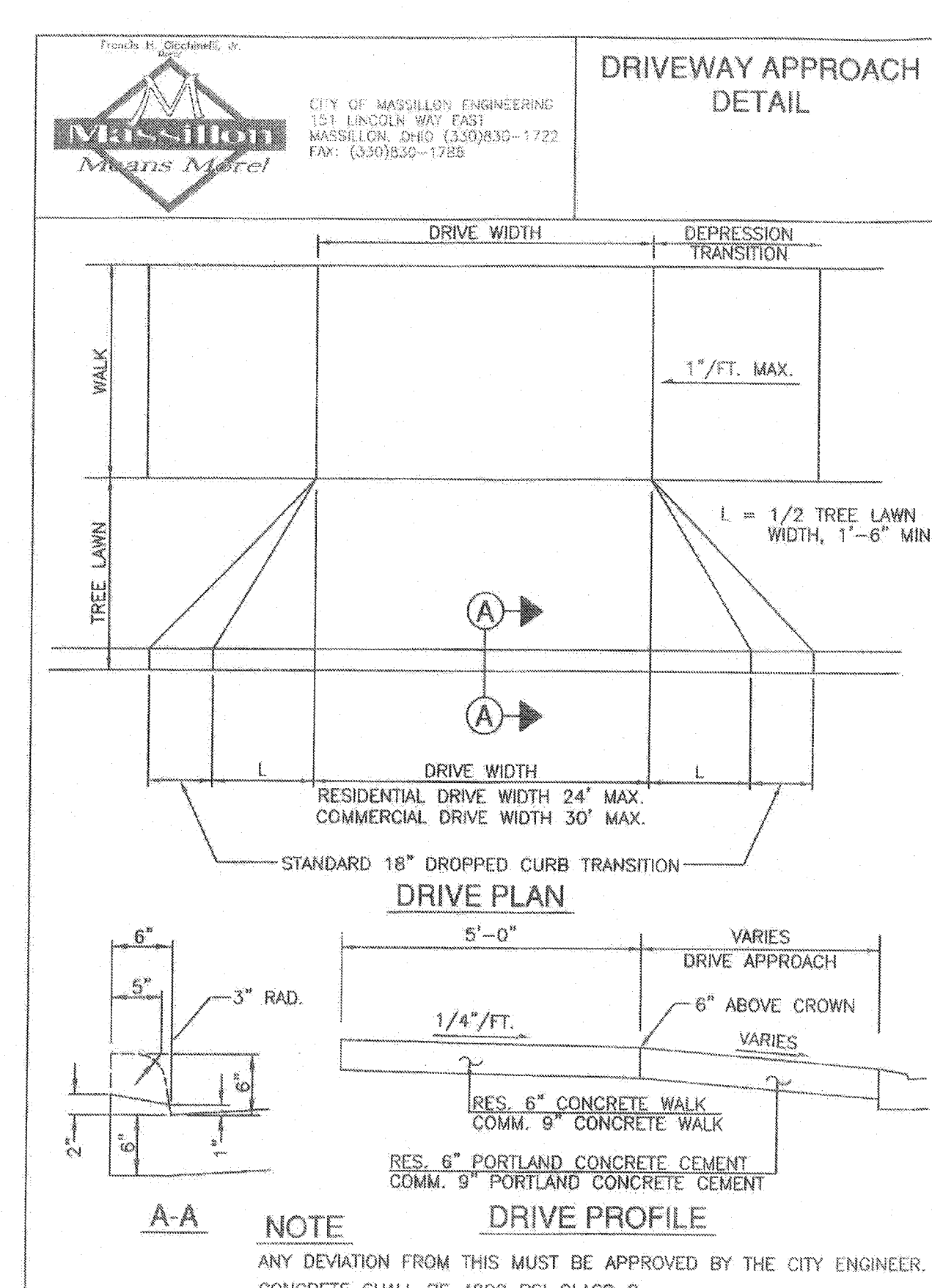
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PLAN - 90°; 45°;  
12 1/2'; 11 1/4'

SECTION 1-1

PLAN - DEAD END

SECTION 2-2

DIMENSION C

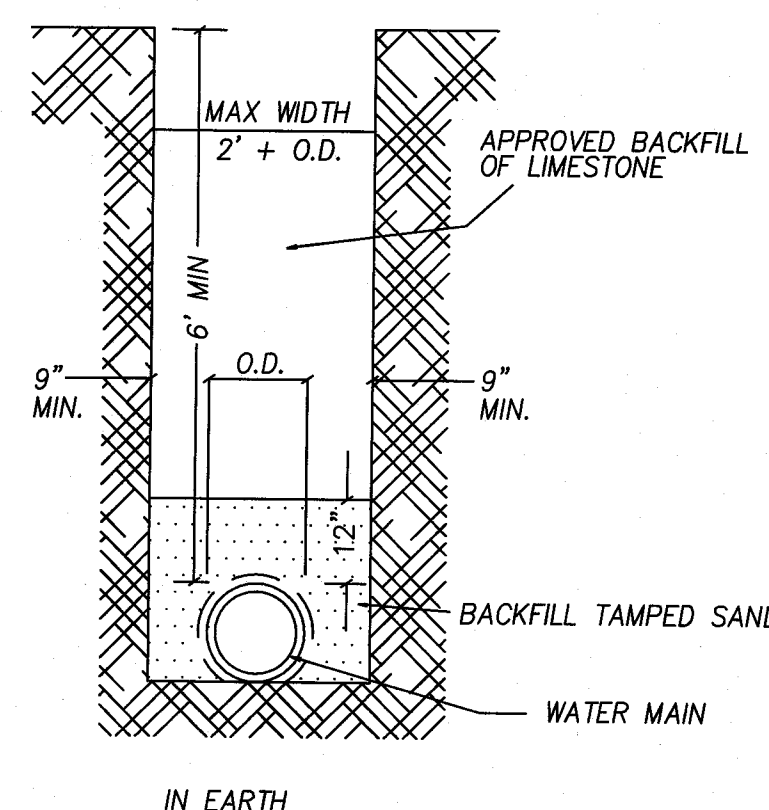
4"-10" DIA.	=	2'-0"
12"-16" DIA.	=	3'-0"
18"-20" DIA.	=	4'-0"
24" DIA.	=	5'-0"

DIMENSION D  
4"-10" DIA. = 1'-0"  
12"-24" DIA. = 2'-0"

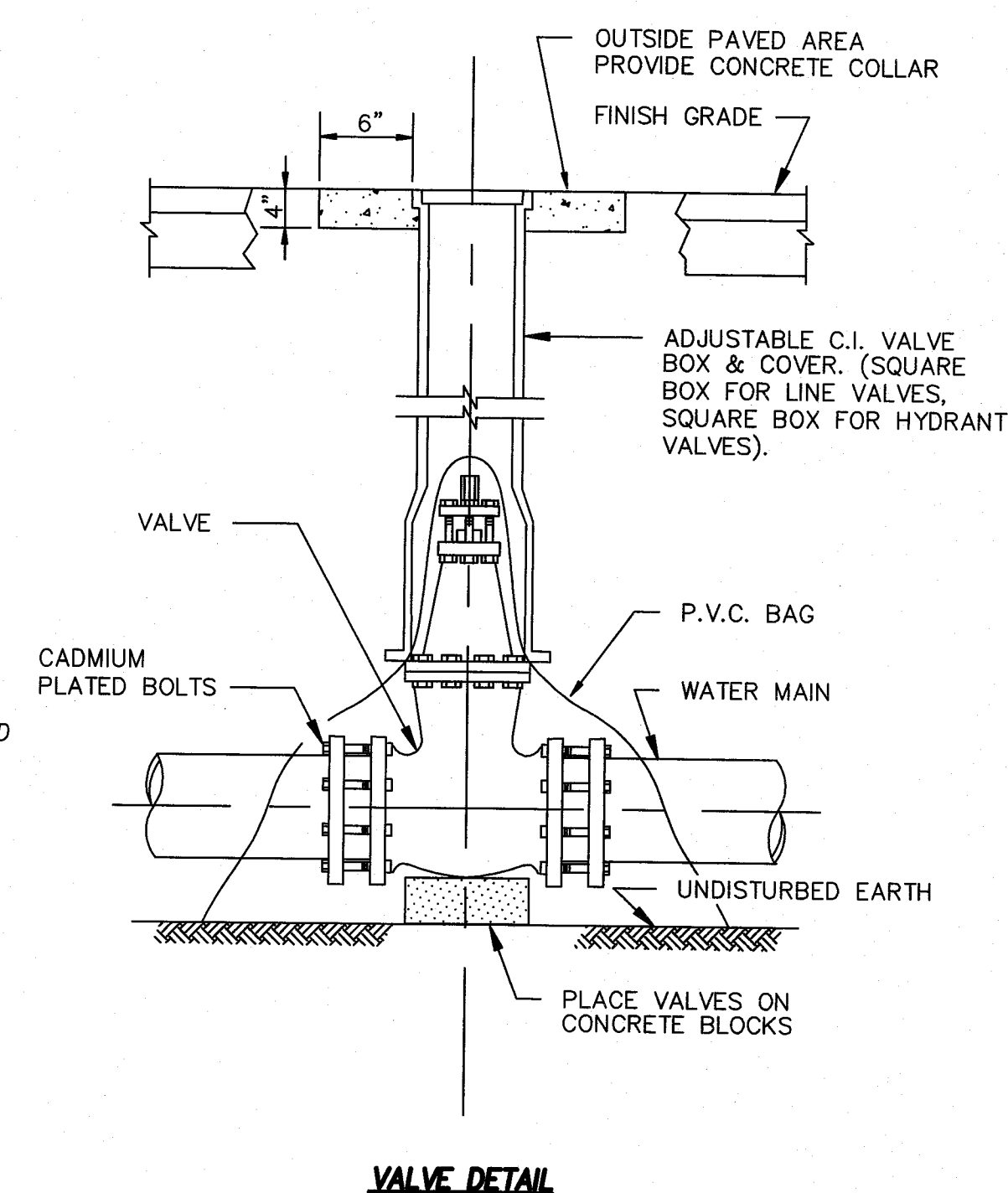
DIMENSION E  
FOR ALL DIAMETERS  
 $E = D/2 + 4"$

NOTE: BLOCKING DESIGN BASED ON  
WORKING PRESSURE 150psi+  
100psi WATER HAMMER AND  
SOIL BEARING 3000psf.

**THRUST BLOCKING DETAILS**  
**FOR BENDS IN HORIZONTAL PLANE**  
WORKING PRESSURE UP TO 150psi



**WATER MAIN TRENCH DETAIL**



### VALVE DETAIL

1. WATERMAIN TO BE INSTALLED IN ACCORDANCE WITH THE CONSTRUCTION AND MATERIAL SPECIFICATIONS AS FOLLOWS: ALL PIPE SHALL BE MINIMUM CLASS 52 CEMENT LINED AND HAVE SOCKET BY PLAIN RUBBER-GASKET PUSH-ON JOINTS WITH RADIALLY COMPRESSED LOCKED IN PLACE RUBBER RING GASKETS. ALL FITTINGS SHALL HAVE BELL OR PLAIN END JOINTS, THE MECHANICAL BOLTED SLIP-BOX TYPE, WITH PIPE OR FITTING PLAIN END AND SEALING GASKET AND BOLTED FLOWED SLIP-ON JOINTS ON BENDS, TEES, CROSSES, VALVES, SPECIAL FITTINGS AND BETWEEN VALVES AND BENDS SHALL HAVE RETAINED MECHANICAL JOINTS. ALL VALVES AND TEES SHALL HAVE BELL JOINTS OF THE MECHANICAL BOLTED STUFFING-BOX TYPE. ON HYDRANT BRANCHES ALL JOINTS, INCLUDING THE TEE OUTLET, HYDRANT ELBOW AND BRANCH VALVE SHALL HAVE RETAINED MECHANICAL JOINTS. ALL BOLTS AND NUTS ON ALL MECHANICAL JOINTS INCLUDING THOSE USED IN MECHANICAL PAINTS SHALL HAVE FIELD APPLIED ONE (1) COAT OF BITUMASTIC PAINT. ALL MECHANICAL JOINTS SHALL THEN BE POLYETHYLENE ENCASED IN ACCORDANCE WITH ASTM A2142, CLASS "C" METHOD "C". WHERE SHOWN ON THE PLANS OR DIRECTLY SPECIFIED, PIPE AND FITTINGS HAVING APPROVED BOLTLESS RESTRAINED SLIP-ON JOINTS SHALL BE FURNISHED TO THE LIMITS INDICATED.

2. ALL HYDRANT ASSEMBLIES INCLUDING VALVE BRANCH TEE OUTLET PIPE, ANY NECESSARY OFFSETS AND APPROVED HYDRANT SHALL BE NOMINAL SIX (6) INCH SIZE.

3. MINIMUM DEPTH OF WATERMAIN COVER SHALL BE SIX (6) FEET BELOW ESTABLISHED GRADE EXCEPT WHERE CROSSING OVER OBSTRUCTION, WHERE MINIMUM COVER SHALL BE FIVE (5) FEET UNLESS OTHERWISE SHOWN OR NOTED.

4. ALL WATERMAIN TRENCHES AND EXCAVATIONS UNDER EXISTING OR FUTURE PAVEMENT, SIDEWALKS OR DRIVES SHALL BE BACKFILLED WITH COMPACTED LIMESTONE SCREENINGS AS SPECIFIED.

5. PRESSURE TESTING OF WATERMAINS, WHERE THEY ARE CONNECTED TO AN EXISTING WATERMAIN TO TEST, RESULTING IN A FAILURE OF TEST OR ANY DAMAGE TO EXISTING WATERMAIN FACILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

6. THE CONTRACTOR'S ATTENTION IS DIRECTED TO THE PROVISIONS RELATED TO PUBLIC IMPROVEMENTS IN SECTION 163.64 OF THE OHIO REVISED CODE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING OHIO UTILITIES PROTECTION SERVICE (OUPS) AT 1-800-362-2764 AND THOSE OWNERS OF UNDERGROUND UTILITIES IN THE VICINITY OF ANY WORK.

7. CONTRACTOR SHALL PROVIDE TAPS FOR DISINFECTION BY CHLORINATION. THE DIVISION OF WATER WILL DETERMINE LOCATIONS AND NUMBER OF TAPS. THE CONTRACTOR SHALL PROVIDE A SIX (6) FOOT SQUARE SHEETED AND SHORED PIT AT LOCATION OF CHLORINATION TAPS.

8. THE CONTRACTOR SHALL ARRANGE WITH THE DIVISION OF WATER FOR ANY TAPS FOR DISINFECTION AND ALL SERVICE CONNECTIONS. THE CONTRACTOR SHALL PAY THE DIVISION OF WATER BEFORE THE WORK IS STARTED.

9. ALL WATER SERVICE CONNECTIONS SHALL BE LAID NOT LESS THAN SIX (6) FEET BELOW ESTABLISHED STREET GRADE AND NOT LESS THAN FIVE AND ONE-HALF (5-1/2) FEET BELOW GROUND SURFACE.

10. HYDRANT INSTALLATION: THE CONTRACTOR IS RESPONSIBLE TO FACE ALL HYDRANT NOZZLES TOWARD THE PAVEMENT, PRIOR TO TESTING AND CHLORINATION OF WATERMAINS.

11. THE CONTRACTOR SHALL REQUIRE THAT THE PROFESSIONAL ENGINEER SHALL TAKE ACTUAL FIELD MEASUREMENTS OF THE MAIN DURING INSTALLATION AND SHALL FURNISH THE COMMISSIONER OR HIS AUTHORIZED AGENT WITH THE RECORD PRINT OF THE SAME. THE WATER DEPT. WILL REQUIRE THE DELIVERY OF SUCH RECORD (AS BUILT) PRINTS BEFORE FINAL TEST OF THE MAIN. THIS PRECLUDES THE USE OF THE WATERMAIN UNTIL STERILIZED AND THE WATER PRONOUNCED FIT FOR HUMAN CONSUMPTION.

12., IT IS STIPULATED BY THE WATER DEPAERTMENT  
THAT OPERATION OF ANY VALVE OR ALTERATIONS OF ANY PART OF THE  
WATER SYSTEM BY CONTRACTORS OR THEIR EMPLOYEES IS PROHIBITED.

13. IF NEEDED ALL WATER SERVING CORPORATION BOXES, METER VAULTS, ETC. WILL BE INSTALLED IN GRASS AREAS.

14. THE BUILDER/DEVELOPER/AGENT IS HEREBY NOTIFIED TO SPACE AND ACCESS FOR WATER METER INSTALLATION IN BASEMENT OR LOWEST LEVEL OF SAID PREMISES.

15. WATER FOR BUILDING PURPOSES WILL BE AVAILABLE AT FIRE HYDRANTS. PERMITS TO USE HYDRANTS WILL BE OBTAINED FROM THE WATER DEPARTMENT OR THEIR AGENT.

16. WIRE FOR ROADOMATIC INSTALLATION MUST BE RUN BY THE BUILDER/DEVELOPER.

17. IN THOSE AREAS WHERE IT IS REQUIRED TO LOWER THE WATERMAIN TO CLEAR AN OBSTACLE AND THE COVER WILL BE GREATER THAN EIGHT (8) FEET, IT SHALL BE REQUIRED THAT BENDS BE INSTALLED TO BRING THE WATERMAIN UP TO THE STANDARD SIX (6) FOOT OF COVER.

18. WHEN A WATER SERVICE CONNECTION IS DISTURBED OR DISCONNECTED DURING TRENCH OR SHEETING EXCAVATION, THE CONTRACTOR WILL REPLACE THE WATER CONNECTION WITH ALL NEW MATERIAL FROM THE CORPORATION SHUT-OFF TO THE CURB SHUT-OFF VALVE.

19. USE SUITABLE BACKFILL MATERIAL AND COMPACT SUFFICIENTLY IN THOSE AREAS WHERE MAINS AND WATER SERVICE CONNECTIONS ARE EXPOSED.

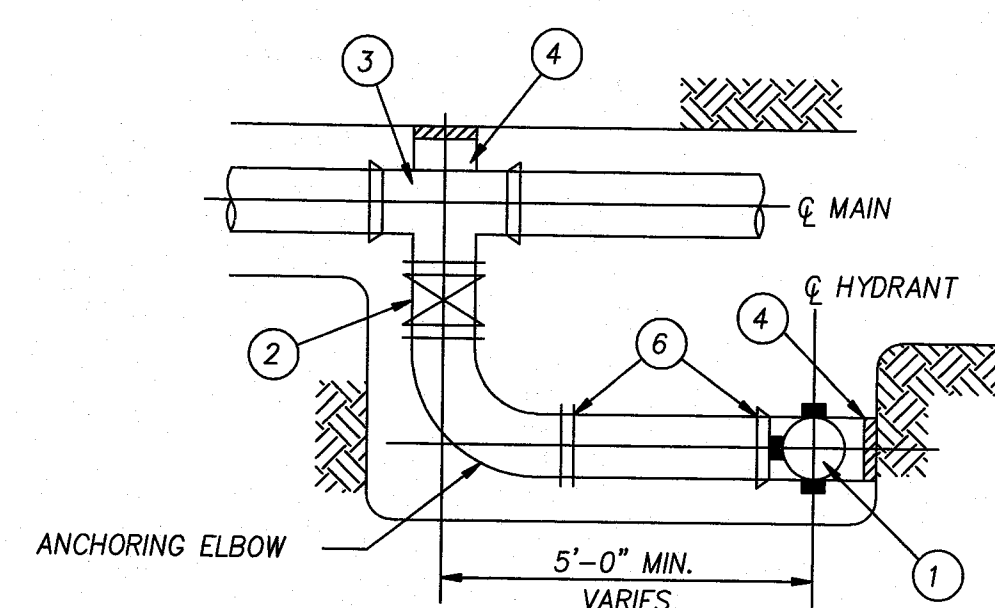
20. ALL WATER WORK REQUIRED WILL BE AT THE EXPENSE OF THE PROJECT AND SHALL CONFORM TO WATER DEPARTMENT STANDARDS.

21 THE INFORMATION SHOWN ON ON THE PLANS  
ARE TAKEN FROM EXISTING AVAILABLE RECORDS.

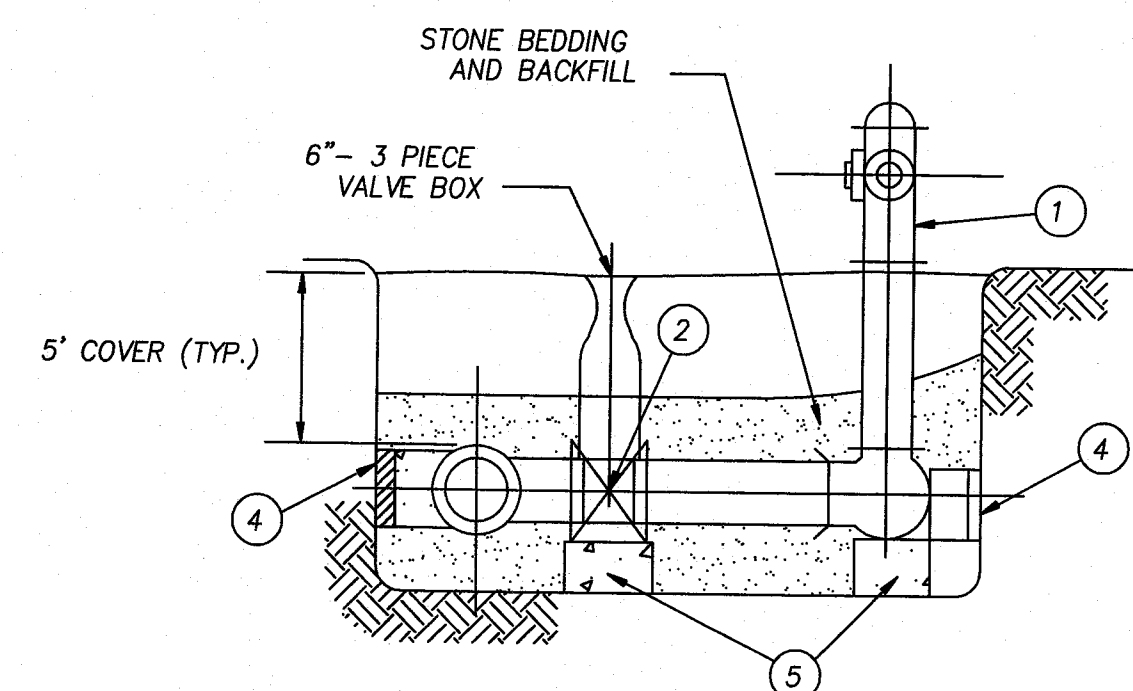
22. A TWO YEAR WARRANTY ON ALL WATER SERVICE CONNECTIONS IN THE SEWER EXCAVATION AREAS WOULD BE THE RESPONSIBILITY OF THE CONTRACTOR SHOULD ANY LEAKS OR REPAIRS BE NEEDED.

23. THRUST BLOCKS, (CONCRETE PIERS) ARE REQUIRED BEHIND ALL TEES, HORIZONTAL BENDS, AND HYDRANT ELBOWS. THE CONTRACTOR SHALL INSTALL A CONCRETE THRUST BLOCK BEHIND A BRASS SLEEVE WHICH THE NOMINAL TAP SIZE IS ONE-HALF OR GREATER THAN THE NOMINAL DIAMETER OF THE PIPE TO BE TAPPED. THE CONCRETE PIER SHALL BE IN PLACE AND CURED PRIOR TO THE HYDROSTATIC TESTING OF THE CONNECTING MAINS. THE CONCRETE PIER BEHIND THE TAPPING SLEEVE IS REQUIRED ON ALL CONNECTING MAINS AND SERVICE CONNECTIONS.

- ① HYDRANT, PER SPECIFICATIONS
- ② 6" GATE VALVE
- ③ ANCHORING TEE
- ④ CONCRETE BLOCKING WITH OAK WEDGES AGAINST UNDISTURBED EARTH
- ⑤ CONCRETE SUPPORT BLOCKING
- ⑥ MEGA LUG JOINT RESTRAINT OR EQUAL



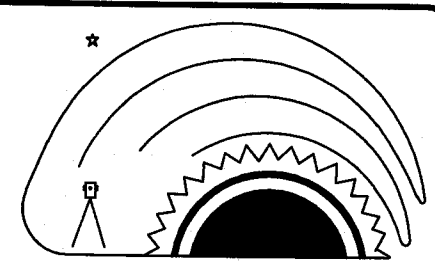
## HYDRANT ASSEMBLY



### TYPICAL HYDRANT ASSEMBLY ELEVATION

McSTEEN AND ASSOCIATES, INC.

ENGINEERS & SURVEYORS  
1415 EAST 286th STREET - WICKLIFFE, OH 44092  
PHONE: 1-440-585-9800 FAX: 1-440-585-9802



PROJECT ID: 2683  
PROJECT NUMBER:  
**10-101**



**ADDITION AND RENOVATION TO:  
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MASSILLON, OHIO**

## DETAIL SHEET

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ISSUE: CITY ENGR. REV.

8