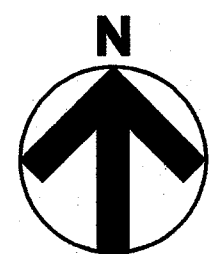
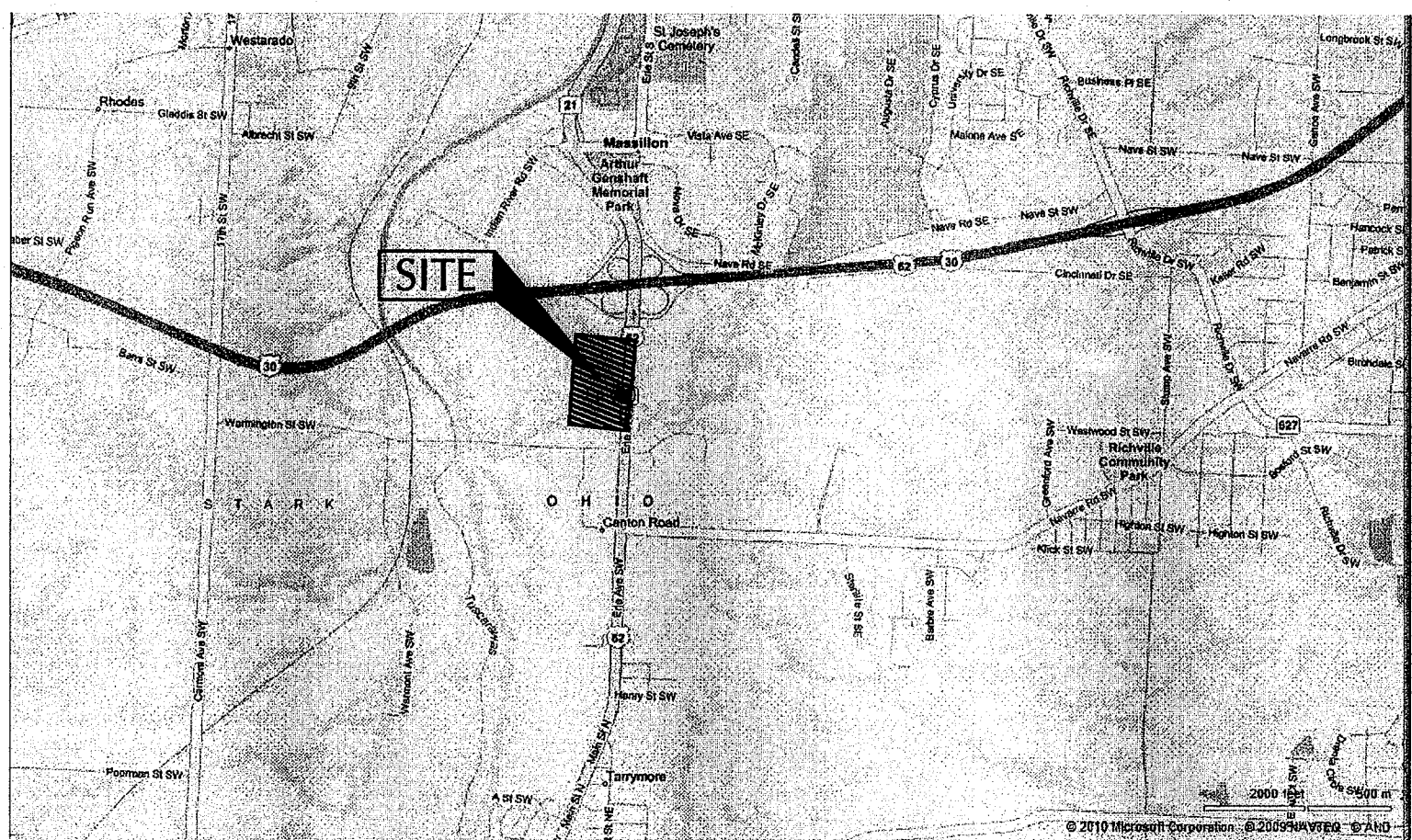


TACO BELL
ERIE STREET S.W.
MASSILLON, OH 44646



SITE LOCATION MAP

Underground Utilities

2 Working Days
Before You Dig
Call 800-362-2764 (Toll Free)
Ohio Utilities Protection Service

Non-members
Must Be Called Directly

Call 800-925-0988 (Toll Free)
Oil & Gas Producers Utility Protection Service

BENCHMARKS:

BASIS OF BEARING IS STATE PLANE GRID NORTH, NAD 83(1986), OHIO NORTH ZONE. ELEVATIONS ARE NAVD 88. TIED TO STARK COUNTY SURVEY CONTROL "PER121"

BENCHMARK #1 - "O" IN WORD OPEN ON TOP OF FIRE HYDRANT AT NORTH ENTRANCE TO MENARDS PARKING LOT.
ELEVATION = 980.76

BENCHMARK #2 - SW ANCHOR BOLT ON LIGHT POLE AT NW CORNER OF SITE.
ELEVATION = 984.67

BENCHMARK #3 - "O" IN WORD OPEN ON TOP OF FIRE HYDRANT AT THE SE CORNER OF THE SITE AND ALONG THE WEST RIGHT OF WAY LINE OF ERIE ST. S.W.
ELEVATION = 988.61

INDEX OF DRAWINGS

T-001.....	TITLE SHEET
-----	ALTA SURVEY
C-001.....	GENERAL NOTES
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C-121.....	GRADING PLAN
C-131.....	STORMWATER POLLUTION PREVENTION PLAN
C-141.....	UTILITY PLAN
C-501.....	DETAILS
C-502.....	DETAILS
C-503.....	DETAILS
C-504.....	DETAILS
L-001.....	LANDSCAPE SPECIFICATIONS
L-101.....	LANDSCAPE PLAN
L-501.....	LANDSCAPE DETAILS
E1.0.....	PHOTOMETRIC PLAN

CITY ENGINEER APPROVAL

APPROVED BY THE MASSILLON CITY ENGINEER THIS _____ DAY OF _____, 20____.

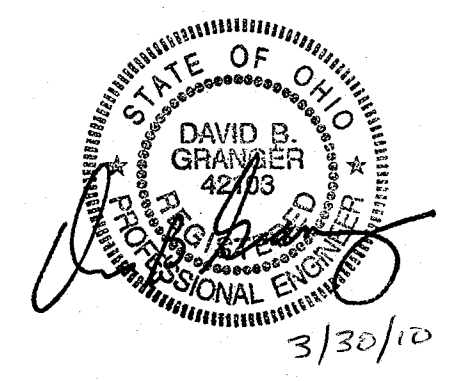
KEITH A. DYLEWSKI, PE

ONLY APPROVED SIGNED PLANS BY THE CITY ENGINEER ARE TO BE USED FOR CONSTRUCTION.

REVISIONS

REV	DATE	DESCRIPTION	SHEETS
1	02-22-10	CITY COMMENTS	T1.0, C-001, C-111, C-141, C-503, L-101
2	03-04-10	WATER REVISION	T1.0, C-141

CLAUS PYLE SCHOMER BURNS & DEHAVEN INC.
GPD ASSOCIATES
520 South Main Street, Suite 2331 Akron, Ohio 44311
330-572-2100 • Fax 330-572-2101



△ CITY COMMENTS	02-22-10
△ WATER REVISION	03-04-10
△	
△	
△	
△	
△	
△	

CONTRACT DATE: 01.04.10
BUILDING TYPE: T-Y07
PLAN VERSION: T-Y07
SITE NUMBER: 386221/307193
STORE NUMBER: 2009088.29

TACO BELL
ERIE ST. SW (OUTLOT #3)
MASSILLON, OH 44646

T-Y07

TITLE SHEET

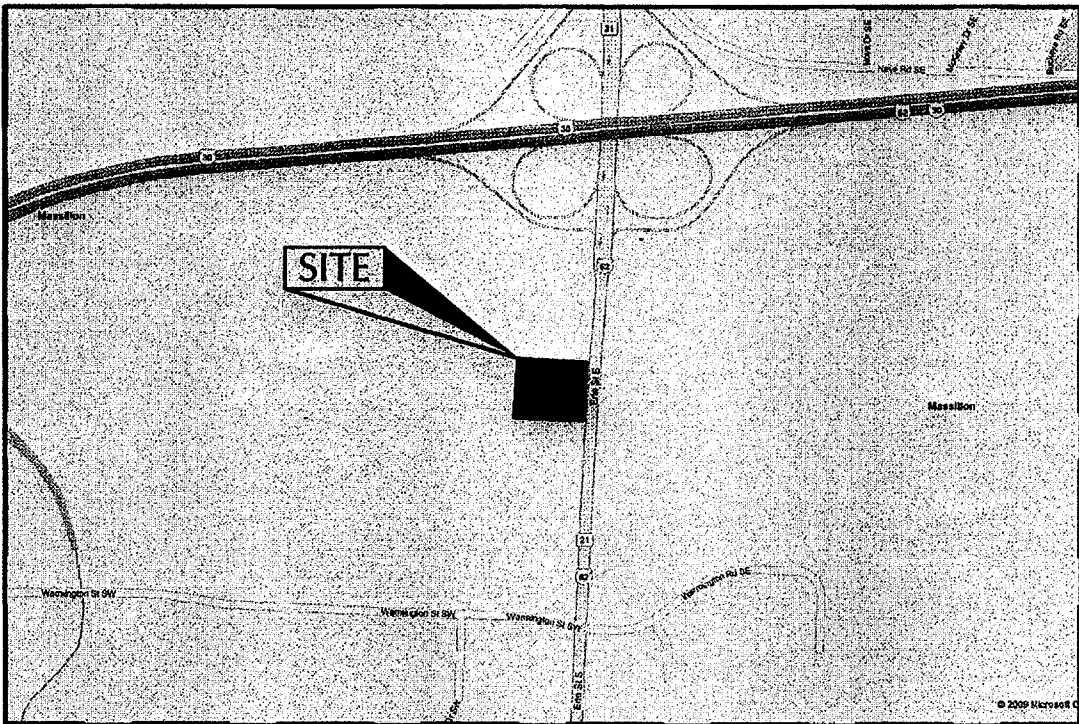
T-001

PLOT DATE:

SCHEDULE B - SECTION 2:

1. RESTRICTIONS, BUILDING LINES AND EASEMENTS CONTAINED ON THE RECORDED PLAT OF OUT LOTS 579, 580 AND 581 AS RECORDED IN INSTRUMENT NO. 200702090007297, RECORDER'S OFFICE, STARK COUNTY, OHIO.
(DOES NOT AFFECT PROPOSED SITE AREA)
2. SANITARY SEWER EASEMENT AS CONTAINED IN DEDICATION PLAT OF RECORD IN INSTRUMENT NO. 200809120040936, RECORDER'S OFFICE, STARK COUNTY, OHIO.
(AFFECTS PROPOSED SITE AREA - PLOTTED AND SHOWN)
3. RIGHTS AS CONTAINED IN THE QUIT CLAIM DEED FROM THE SHELLY COMPANY, AN OHIO CORPORATION, TO MENARD, INC., FILED FOR RECORD JANUARY 26, 2007, OF RECORD IN INSTRUMENT NO. 200701260004721 RECORDER'S OFFICE, STARK COUNTY, OHIO.
(AFFECTS PROPOSED SITE AREA - BLANKET EASEMENT)
4. GAS EASEMENT TO DOMINION EAST OHIO, OF RECORD IN INSTRUMENT NO. 200808150036905, RECORDER'S OFFICE, STARK COUNTY, OHIO.
(AFFECTS PROPOSED SITE AREA - PLOTTED AND SHOWN)
5. RESERVATION OF INGRESS AND EGRESS AS CONTAINED IN THE DEED FROM CENTRAL ALLIED ENTERPRISES, INC. AND EDRA COMPANY, A PARTNERSHIP CONSISTING OF WALTER H. EDWARDS, PARTNER, CHARLES G RAUH, PARTNER AND HUGH A. EDWARDS, PARTNER, BEING ALL OF THE PARTNERS, TO STATE OF OHIO, FILED FOR RECORD MAY 28, 1999, RECORDED IN INSTRUMENT NO. 1999041496 OF STARK COUNTY RECORDS BUT OMITTING ANY COVENANT OR RESTRICTION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN UNLESS AND ONLY TO THE EXTENT THAT SAID COVENANT (A) IS EXEMPT UNDER CHAPTER 42, SECTION 3607 OF THE UNITED STATES CODE OR (B) RELATES TO HANDICAP BUT DOES NOT DISCRIMINATE AGAINST HANDICAPPED PERSONS.
(BENEFITS PROPOSED SITE AREA - RESERVATION OF INGRESS/EGRESS)
6. RIGHT OF WAY AGREEMENT TO STATE OF OHIO, OF RECORD IN INSTRUMENT NO. 1999041497, RECORDER'S OFFICE, STARK COUNTY, OHIO.
(DOES NOT AFFECT PROPOSED SITE AREA)
7. EASEMENT TO STATE OF OHIO, OF RECORD IN INSTRUMENT NO. 1999041499, RECORDER'S OFFICE, STARK COUNTY, OHIO.
(DOES NOT AFFECT PROPOSED SITE AREA)
8. EASEMENT TO OHIO EDISON, OF RECORD IN OFFICIAL RECRODS VOLUME 1310, PAGE 987, RECORDER'S OFFICE, STARK COUNTY, OHIO.
EASEMENT AND RIGHT OF WAY TO OHIO EDISON, OF RECORD IN INSTRUMENT NO. 1999028861, RECORDER'S OFFICE, STARK COUNTY, OHIO.
(AFFECTS PROPOSED SITE AREA, SUPERSEDES AND CANCELS OR VOL. 1310, PG. 987 ABOVE - PLOTTED AND SHOWN)
9. EASEMENT TO CENTRAL ALLIED ENTERPRISES, INC., OF RECORD IN OFFICIAL RECORDS VOLUME 16, PAGE 799, RECORDER'S OFFICE, STARK COUNTY, OHIO.
(DOES NOT AFFECT PROPOSED SITE AREA)
10. PERPETUAL RIGHT OF WAY AND EASEMENT TO OHIO WATER SERVICE COMPANY, OF RECORD IN OFFICIAL RECORS VOLUME 532, PAGE 258, RECRODER'S OFFICE, STARK COUNTY, OHIO.
(AFFECTS PROPOSED SITE AREA - PLOTTED AND SHOWN)
11. PERPETUAL EASEMENT AND RIGHT OF WAY TO BOARD OF COUNTY COMMISSIONERS OF STRK COUNTY, OF RECORD IN OFFICIAL RECORDS VOLUME 1241, PAGE 227, RECORDER'S OFFICE, STARK COUNTY, OHIO.
(DOES NOT AFFECT PROPOSED SITE AREA)
12. PERMISSION AS CONTAINED IN PERMIT FROM STATE OF OHIO TO FRANK E. HOUN, OF RECORD IN OFFICIAL RECORDS VOLUME 834, PAGE 393, RECORDER'S OFFICE, STARK COUNTY, OHIO.
(DOES NOT AFFECT PROPOSED SITE AREA)
13. EASEMENT TO THE BOARD OF COUNTY COMMISSIONERS OF STARK COUNTY, OHIO, OF RECORD IN OFFICIAL RECORDS VOLUME 3264, PAGE 170, RECORDER'S OFFICE, STARK COUNTY, OHIO.
(DOES NOT AFFECT PROPOSED SITE AREA)
14. PERMISSION AS CONTAINED IN LEASE FROM THE STATE OF OHIO AND THE OHIO PUBLIC SERVICE CO. TO THE MASSILLON ELECTRIC AND GAS COMPANY, OF RECORD IN OFFICIAL RECORDS VOLUME 37, PAGE 209, RECORDER'S OFFICE, STARK COUNTY, OHIO.
(DOES NOT AFFECT PROPOSED SITE AREA)
15. TERMS, CONDITIONS AND RESTRICTIONS AND RIGHT OF WAY AS CONTAINED IN THE OIL AND GAS LEASE TO MB OIL & GAS, OF RECORD IN OFFICIAL RECORDS VOLUME 185, PAGE 830, RECORDER'S OFFICE, STARK COUNTY, OHIO.
NOTE: NO FURTHER EXAMINATION HAS BEEN MADE HEREUNDER.
(AFFECTS PROPOSED SITE AREA - BLANKET EASEMENT)
16. OIL AND GAS LEASE BY AND BETWEEN EDRA COMPANY AND POWER RESOURCES OPERATION COMPANY, INC., OF RECORD IN OFFICIAL RECORDS VOLUME 633, PAGE 807, RECORDER'S OFFICE, STARK COUNTY, OHIO.
NOTE: NO FURTHER EXAMINATION HAS BEEN MADE HEREUNDER.
(DOES NOT AFFECT PROPOSED SITE AREA)
17. OIL AND GAS LEASE BY AND BETWEEN CENTRAL--ALLIED ENTERPRISE, INC., EDRA COMPANY AND POWER RESOURCES OPERATING COMPANY, INC. OF RECORD IN OFFICIAL RECORDS VOLUME 672, PAGE 546, RECORDER'S OFFICE, STARK COUNTY, OHIO.
NOTE: NO FURTHER EXAMINATION HAS BEEN MADE HEREUNDER.
(AFFECTS PROPOSED SITE AREA - BLANKET EASEMENT)
18. OIL AND GAS LEASE BY AND BETWEEN CENTRAL--ALLIED ENTERPRISES, INC., EDRA COMPANY AND POWER RESOURCES OPERATING COMPANY, INC., OF RECORD IN OFFICIAL RECORDS VOLUME 699, PAGE 610, RECORDER'S OFFICE, STARK COUNTY, OHIO.
NOTE: NO FURTHER EXAMINATION HAS BEEN MADE HEREUNDER.
(AFFECTS PROPOSED SITE AREA - BLANKET EASEMENT)
19. NOTICE OF COMMENCEMENT, FILED OCTOBER 11, 2007, OF RECORD IN INSTRUMENT NO. 200710110055208, RECORDER'S OFFICE, STARK COUNTY, OHIO. (COVERS CAPTION AND MORE LAND)
(DOES NOT AFFECT PROPOSED SITE AREA)
20. NOTICE OF COMMENCEMENT, FILED MAY 2, 2008, OF RECORD IN INSTRUMENT NO. 200710110055208, RECORDER'S OFFICE, STARK COUNTY, OHIO. (COVERS CAPTION AND MORE LAND)
(DOES NOT AFFECT PROPOSED SITE AREA)
21. NOTICE OF COMMENCEMENT, FILED JUNE 23, 2008, OF RECORD IN INSTRUMENT NO. 200806230028462, RECORDER'S OFFICE, STARK COUNTY, OHIO.
(DOES NOT AFFECT PROPOSED SITE AREA)

ALTA \ ACSM SURVEY
PART OF OUT LOT 1044
PART OF THE N.W. QTR. OF SECT. 29
T 10 N, R 9 W
CITY OF MASSILLON
COUNTY OF STARK
STATE OF OHIO



VICINITY MAP



GENERAL NOTES:

1. THE DESCRIBED REAL ESTATE IS IN A ZONE C, AREAS OF MINIMAL FLOODING AS INDICATED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S NATIONAL FLOOD INSURANCE PROGRAM PANEL NO. 3907800100B, EFFECTIVE DATE OF SEPTEMBER 1, 1983.
2. THE PROPERTIES SHOWN ON THIS SURVEY ARE THE SAME AS THOSE DESCRIBED IN THE TITLE REPORTS.
3. THE EXISTENCE AND/OR LOCATION OF UTILITIES WERE OBTAINED BY FIELD CHECKS AND RESEARCH OF AVAILABLE RECORDS, AS REQUIRED BY O.R.C. 153.64. IT IS BELIEVED THAT THEY ARE ESSENTIALLY CORRECT; THE SURVEYOR MAKES NO GUARANTEE TO THEIR ACCURACY OR COMPLETENESS. EXACT UTILITY LOCATIONS MUST BE FIELD VERIFIED AT THE TIME OF CONSTRUCTION.
4. THIS SURVEY IS NOT FOR THE PURPOSE OF LOCATING OR IDENTIFYING ANY POLLUTANTS OF HAZARDOUS MATERIALS ON OR UNDER THE PROPERTY SHOWN HEREON.

SCHEDULE B - SECTION 2: (cont.)

22. RESERVATION OF RIGHTS AS CONTAINED IN QUIT CLAIM DEED TO CENTRAL ALLIED ENTERPRISES, INC. FILED IN OFFICIAL RECORDS VOLUME 16, PAGE 787, RECORDER'S OFFICE, STARK COUNTY, OHIO.
(AFFECTS PROPOSED SITE AREA - BLANKET EASEMENT)
23. RESERVATION OF RIGHTS AS CONTAINED IN QUIT CLAIM DEED TO CENTRAL ALLIED ENTERPRISES, INC. FILED AS OFFICIAL RECORDS VOLUME 16, PAGE 796, RECORDER'S OFFICE, STARK COUNTY, OHIO.
(AFFECTS PROPOSED SITE AREA - BLANKET EASEMENT)

LEGAL DESCRIPTION:

Situated in the City of Massillon, County of Stark, State of Ohio and known as being a part of Outlot 1044 in the northwest quarter of Section 29, Township 10 North, Range 9 West, also known as being a portion of a parcel of land conveyed to Menard, Inc. as recorded in Instrument No. 200701260004717 of said County's records, and being further bounded and described as follows:

Commencing at a capped pin 'Deibel 6673' found at the southeast corner of said Outlot 1044 and on the west right of way line of Erie St. S.W. (S.R. 21 & U.S. 62, variable width), thence along the east lines of said Outlot 1044 and said west right of way lines for the following two courses, thence N 2' 00' 52" E for a distance of 938.39 feet to a capped pin 'Deibel 6673' found, thence N 3' 12' 57" E for a distance of 641.92 feet to a 5/8 inch rebar with cap 'GPD' set, said rebar set being the TRUE PLACE OF BEGINNING of the parcel of land hereinafter described, thence clockwise along the following eight (8) courses and distances:

- 1) Thence N 88' 25' 50" W for a distance of 196.45 feet to a 5/8 inch rebar with cap 'GPD' set;
- 2) Thence N 1' 34' 10" E for a distance of 175.00 feet to a 5/8 inch rebar with cap 'GPD' set;
- 3) Thence along the arc of a curve to the right having the following properties:
Delta = 90° 00' 00"
Radius = 30.00
Tangent = 30.00
Chord = 42.43
Chord Bearing = N 46° 34' 10" E for an arc distance of 47.12 feet to a 'Drill Hole' set;
- 4) Thence S 88' 25' 50" E for a distance of 141.00 feet to a 'Drill Hole' set;
- 5) Thence along the arc of a curve to the right having the following properties:
Delta = 57° 40' 15"
Radius = 48.00
Tangent = 26.43
Chord = 46.30
Chord Bearing = S 59° 35' 42" E for an arc distance of 48.31 feet to a 5/8 inch rebar with cap 'GPD' set on the east line of said Outlot 1044 and said west right of way line of Erie St. S.W.;

Thence along the east line of said Outlot 1044 and said west right of way line for the following three courses:

- 6) Thence S 3' 13' 24" W for a distance of 105.92 feet to a capped pin 'Deibel 6673' found;
- 7) Thence N 86' 47' 03" W for a distance of 9.84 feet to a capped pin 'Deibel 6673' found;
- 8) Thence S 3' 12' 57" W for a distance of 77.11 feet to the True Place of Beginning and containing 0.9566 acres (41,671 sq.ft.) of land, more or less, and subject to all easements, restrictions and covenants of record as surveyed under the supervision of James E. Karing, P.S. Number 7539, for GPD Associates, in January of 2010.



CLAUS PYLE SCHOMER BURNS
& DEHAVEN, INC.
GPD ASSOCIATES
520 South Main Street, Suite 2531 Akron, Ohio 44311
330-572-2100, Fax 330-572-2101



PARCEL ADDRESS: 3725 ERIE ST. S.W.
MASSILLON, OHIO 44646

PARCEL AREA: 0.9566 ACRES (41,671 S.F.)

YUM ENTITY NUMBER: 386221
YUM SITE NUMBER: 307193

DRAWN BY: 1-04-10

SHEET: 1 OF 2

CHECKED BY: JEK

GPD JOB NO.: 2009088.29



James E. Karing 2/3/10
JAMES E. KARING, P.S. No. 7539 DATE

INVERTS:

ST MH 1004 T/C = 986.14
INV. 24" CPP N = 977.69
INV. 30" CPP S = 977.69
INV. 12" CPP E = 978.14

SN MH 1005 T/C = 987.39
INV. 24" CPP N = 979.54
INV. 24" CPP S = 979.54
INV. 12" CPP E = 980.49

CB 1006 T/C = 986.57
INV. 12" CPP W = 980.72
INV. 12" CPP E = 980.72
INV. 4" CPP NE = 982.97
INV. 4" CPP SW = 982.97

CB 1007 T/C = 986.60
INV. 12" CPP W = 982.40
INV. 12" CPP N = 982.60

ST MH 1008 T/C = 988.68
INV. 24" CPP N = 980.78
INV. 24" CPP S = 980.78

CB 1015 T/C = 981.99
INV. 10" PVC N = 974.69

CB 1016 T/C = 982.21
INV. 11" PVC S = 975.21
INV. 15" PVC W = 975.21

SN MH 1017 T/C = 984.03
INV. 8" PVC N = 967.43
INV. 8" PVC S = 967.43

CB 1018 T/C = 981.84
INV. 15" PVC E = 974.21
INV. 36" CPP S = 973.19
INV. 36" CPP W = 973.19

SN MH 1019 T/C = 979.70
INV. 8" PVC N = 966.35
INV. 8" PVC S = 966.35

CB 1020 T/C = 978.77
INV. 18" CPP W = 972.82

CB 1021 T/C = 977.91
INV. 18" CPP SW = 972.91
INV. 18" CPP E = 972.91

CB 1022 T/C = 977.93
INV. 36" RCP N = -----
INV. 36" RCP S = -----

SN MH 1023 T/C = 978.64
INV. 8" PVC N = 964.59
INV. 8" PVC S = 964.59
INV. 6" PVC W = 964.89

CB 1024 T/C = 977.56
INV. 18" CPP E = 972.46
INV. 36" CPP N = 972.46
INV. 36" CPP S = 972.46

BENCHMARKS:

BENCHMARK 1

"O" in word OPEN on top of fire Hydrant at north entrance to Menards parking lot.
Elevation = 980.76

BENCHMARK 2

SW anchor bolt on light pole at NW corner of site.
Elevation = 984.67

BENCHMARK 3

"O" in word OPEN on top of fire Hydrant at the SE corner of the site and along the west right of way line of Erie Ave. S.W.
Elevation = 988.61

ZONING:

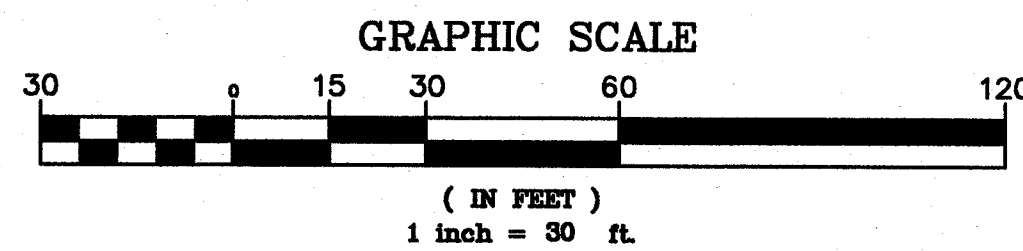
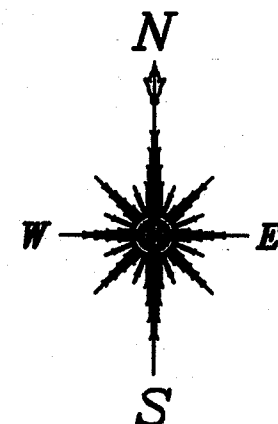
B-3 GENERAL BUSINESS

BASIS OF BEARING:

BASIS OF BEARING IS STATE PLANE GRID NORTH, NAD 83(1986), OHIO NORTH ZONE.

ELEVATIONS ARE NAVD 88.

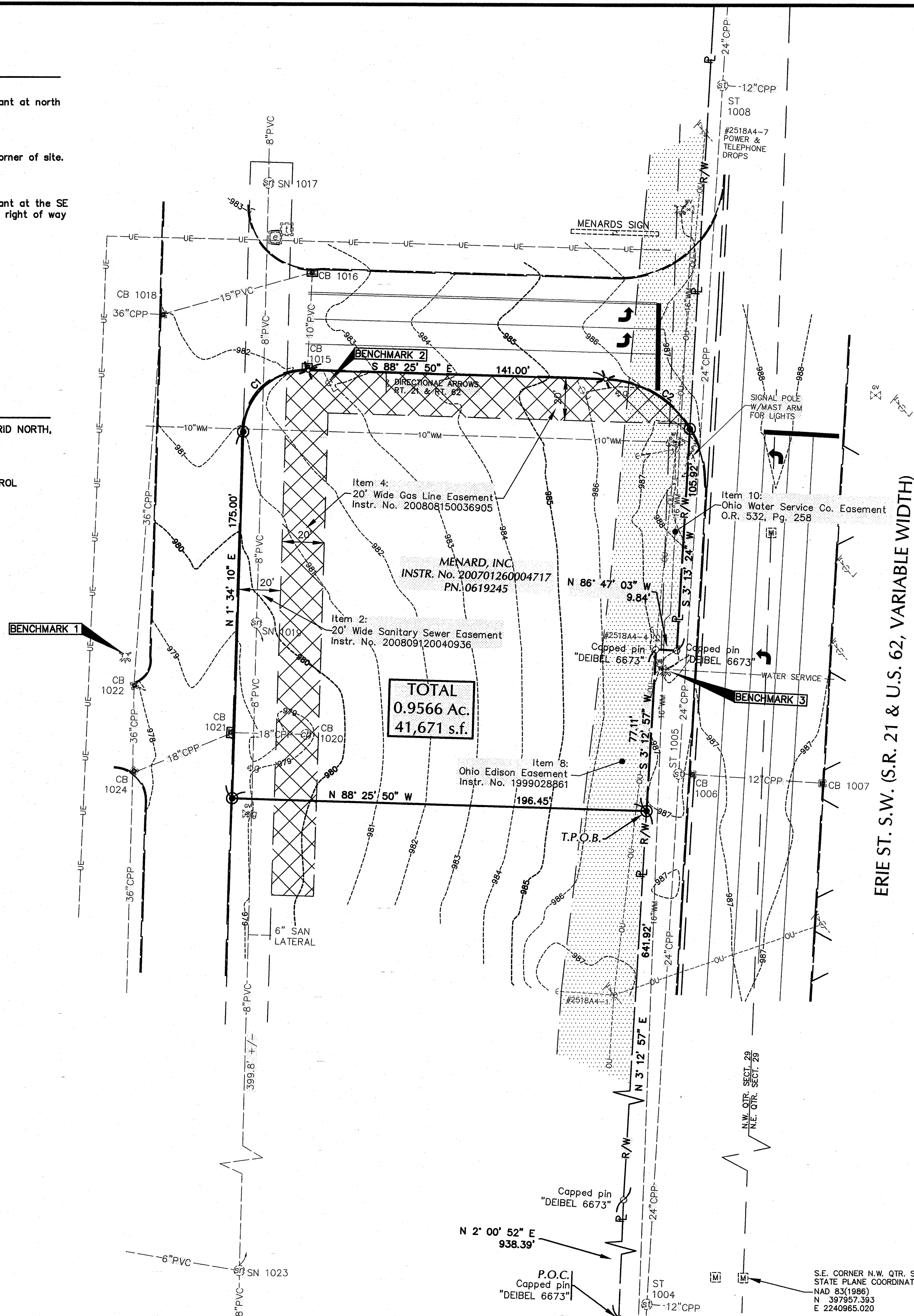
TIED TO STARK COUNTY SURVEY CONTROL "PER121"



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Must Be Called Directly
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Oil & Gas Producers Utility Protection Service



REFERENCES:

- COUNTY TAX MAP.
- DEEDS.
- PLATS.
- TITLE REPORT

① CURVE DATA
Δ = 90° 00' 00"
R = 30.00
T = 30.00
L = 47.12
CH = 42.43
CH. BRG. = N 46° 34' 10" E

② CURVE DATA
Δ = 57° 40' 15"
R = 48.00
T = 26.43
L = 48.31
CH = 46.30
CH. BRG. = S 59° 35' 42" E

LEGEND:

- MONUMENT BOX FOUND AS NOTED
- IRON PIN FOUND AS NOTED
- 5/8" REBAR WITH CAP "GPD" SET
- DRILL HOLE SET
- EXISTING DECORATIVE LIGHT POLE
- EXISTING LIGHT POLE
- EXISTING SIGNAL POLE
- EXISTING ELECTRIC METER
- EXISTING SIGNAL BOX
- EXISTING ELECTRIC BOX
- EXISTING TELEPHONE PEDESTAL
- EXISTING SANITARY MANHOLE
- EXISTING STORM MANHOLE
- EXISTING CATCH BASIN
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING GAS LINE MARKER
- EXISTING OUPS GAS LINE FLAG
- EXISTING TELEPHONE MANHOLE
- EXISTING DEEP UTILITY LINE MARKER
- EXISTING UNDERGROUND ELECTRIC
- EXISTING OVERHEAD UTILITIES
- EXISTING UNDERGROUND GAS LINE
- EXISTING PROPERTY LINE
- EXISTING RIGHT OF WAY LINE
- EXISTING CENTERLINE

ZONING:

B-3 GENERAL BUSINESS

BUILDING SETBACKS
FRONT = 30'
REAR = 20'
SIDE = 10'



PARCEL ADDRESS: 3725 ERIE ST. S.W.
MASSILLON, OHIO 44646

PARCEL AREA: 0.9566 ACRES (41,671 S.F.)


YUM ENTITY NUMBER: 386221
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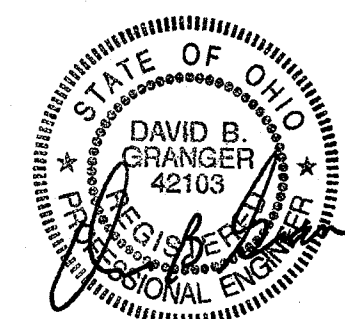
DRAWN BY: 1-04-10 SHEET: 2 OF 2













CHECKED BY: JEK GPD JOB NO.: 2009088.29

DEMOLITION NOTES	GENERAL PLAN NOTES	UTILITY NOTES	GENERAL LEGEND
<div><div>1. DEMOLITION INCLUDES THE FOLLOWING WITHIN THE PROPERTY LINES: 1.A. TRANSFER BENCHMARK CONTROL TO NEW LOCATIONS OUTSIDE THE DISTURBED AREA PRIOR TO COMMENCING DEMOLITION OPERATIONS (WHEN APPLICABLE). 1.B. DEMOLITION AND REMOVAL OF SITE IMPROVEMENTS. 1.C. DISCONNECTING, CAPPING OR SEALING, AND ABANDONING/REMOVING SITE UTILITIES IN PLACE (WHICHEVER IS APPLICABLE). 2. REMOVE: REMOVE, AND LEGALLY DISPOSE OF ITEMS EXCEPT THOSE INDICATED TO BE REINSTALLED, SALVAGED, OR TO REMAIN. 3. REMOVE, REINSTALL, AND RELOCATE: REMOVE ITEMS INDICATED; CLEAN, SERVICE, AND OTHERWISE PREPARE THEM FOR REUSE; STORE AND PROTECT AGAINST DAMAGE. REINSTALL ITEMS IN LOCATIONS INDICATED. 4. EXISTING TO REMAIN: PROTECT ITEMS INDICATED TO REMAIN AGAINST DAMAGE AND SOILING THROUGHOUT CONSTRUCTION. WHEN PERMITTED BY THE ENGINEER, ITEMS MAY BE REMOVED TO A SUITABLE, PROTECTED STORAGE LOCATION THROUGHOUT CONSTRUCTION AND THEN CLEANED AND REINSTALLED IN THEIR ORIGINAL LOCATIONS. 5. CONTRACTOR SHALL SCHEDULE DEMOLITION ACTIVITIES WITH THE CONSTRUCTION/PROJECT MANAGER INCLUDING THE FOLLOWING: 5.A. DETAILED SEQUENCE OF DEMOLITION AND REMOVAL WORK, WITH STARTING AND ENDING DATES FOR EACH ACTIVITY. 5.B. DATES FOR SHUTOFF, CAPPING, AND CONTINUATION OF UTILITY SERVICES. 5.C. IDENTIFY AND ACCURATELY LOCATE UTILITIES AND OTHER SUBSURFACE STRUCTURAL, ELECTRICAL, OR MECHANICAL CONDITIONS. 6. REGULATORY REQUIREMENTS: COMPLY WITH GOVERNING EPA NOTIFICATION REGULATIONS BEFORE STARTING DEMOLITION. COMPLY WITH HAULING AND DISPOSAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION. 7. STORAGE OR SALE OF REMOVED ITEMS OR MATERIALS ON-SITE WILL NOT BE PERMITTED. 8. OBTAIN APPROVED BORROW SOIL MATERIALS OFF-SITE WHEN SUFFICIENT SATISFACTORY SOIL MATERIALS ARE NOT AVAILABLE ON-SITE. 9. MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE THROUGHOUT CONSTRUCTION OPERATIONS. 9.A. DO NOT INTERRUPT EXISTING UTILITIES SERVING OCCUPIED OR OPERATING FACILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY ENGINEER AND AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS ACCEPTABLE TO OWNER AND TO GOVERNING AUTHORITIES. 10. DO NOT START DEMOLITION WORK UNTIL UTILITY DISCONNECTING AND SEALING HAVE BEEN COMPLETED AND VERIFIED IN WRITING. 11. UTILITY REQUIREMENTS: LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF INDICATED UTILITY SERVICES SERVING THE SITE. 11.A. ARRANGE TO SHUT OFF AND CAP UTILITIES WITH UTILITY COMPANIES AND FOLLOW THEIR RESPECTIVE UTILITY KILL AND CAP POLICIES. 12. CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN. ENSURE SAFE PASSAGE OF PEOPLE AROUND DEMOLITION AREA. 12.A. ERECT TEMPORARY PROTECTION, BARRICADES AS PER LOCAL GOVERNING AUTHORITIES. 12.B. PROTECT EXISTING SITE IMPROVEMENTS AND APPURTENANCES TO REMAIN. 13. EXPLOSIVES: USE OF EXPLOSIVES WILL NOT BE PERMITTED. 14. REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT SURFACES AND AREAS. 15. CLEAN ADJACENT BUILDINGS AND IMPROVEMENT OF DUST, DIRT, AND DEBRIS CAUSED BY DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE START OF DEMOLITION. 16. DAMAGES: PROMPTLY REPAIR DAMAGES TO ADJACENT FACILITIES CAUSED BY DEMOLITION OPERATIONS AT THE CONTRACTORS COST. 17. GENERAL: PROMPTLY DISPOSE OF DEMOLISHED MATERIALS. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON-SITE. 18. BURNING: DO NOT BURN DEMOLISHED MATERIALS. 19. FILLING BELOW-GRADE AREAS: COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION OF PAVEMENTS AND UTILITIES WITH SOIL MATERIALS ACCORDING TO REQUIREMENTS PER SOILS REPORT. CONTRACTOR SHALL CONTACT ENGINEER PRIOR TO FILLING ANY AREAS. CONTRACTOR SHALL CONTACT ENGINEER TO OBSERVE FILL PROCEDURES. 20. CONDUCT DEMOLITION OPERATIONS AND REMOVE DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED AND USED FACILITIES. 20.A. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER ADJACENT OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM OWNER AND AUTHORITIES HAVING JURISDICTION. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY GOVERNING REGULATIONS. 21. CONTRACTOR TO SAWCUT EXISTING PAVEMENT TO REMAIN PRIOR TO CURB, GUTTER, PAVEMENT, ETC REMOVAL.</div></div>	<div><div>1. PRIOR TO STARTING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES. 2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY. THE SOILS REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION/PROJECT MANAGER OF ANY DISCREPANCY BETWEEN SOILS REPORT AND PLANS, ETC. 3. THE A.L.T.A. SURVEY SHALL BE CONSIDERED A PART OF THESE PLANS. THE G.C. IS RESPONSIBLE FOR LOCATING IMPROVEMENTS PER THESE PLANS. 4. UPON RECEIPT OF POINT COORDINATE DATA, THE CONTRACTOR SHALL RUN AN INDEPENDENT VERTICAL CONTROL TRAVERSE TO CHECK BENCHMARKS AND A HORIZONTAL CONTROL TRAVERSE THROUGH GIVEN POINTS TO CONFIRM GEOMETRIC DATA AND SUBMIT TO THE ENGINEER PRIOR TO ANY CONSTRUCTION. 5. THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THE PLAN ARE BASED ON FIELD SURVEYS AND CITY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE. 6. ALL DIMENSIONS, GRADES, AND UTILITY LOCATIONS SHOWN ON THESE PLANS WERE BASED ON ALTA SURVEY. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY CONSTRUCTION/PROJECT MANAGER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO INFORMATION SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN. 7. ALL WORK WITHIN THE RIGHTS OF WAY SHALL BE IN ACCORDANCE WITH THE GOVERNING JURISDICTION AND SPECIFICATIONS. 8. CONTRACTOR SHALL COORDINATE ANY MAINTENANCE OF TRAFFIC WITH THE OWNER'S REPRESENTATIVE AND THE LOCAL JURISDICTION PRIOR TO CONSTRUCTION. 9. CONTRACTOR SHALL AT ALL TIMES ENSURE THAT SWPP MEASURES PROTECTING EXISTING DRAINAGE FACILITIES BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY PHASE OF THE SITE CONSTRUCTION OR LAND ALTERATION. (SEE SHEET C-131). 10. GEOMETRIC POINTS AND COORDINATES FOR TWO (2) BUILDING CORNERS CAN BE PROVIDED TO CONTRACTOR, UPON REQUEST, PRIOR TO CONSTRUCTION. NOTIFY ENGINEER 2 DAYS PRIOR. 11. UPON COMPLETION OF PROJECT, CONTRACTOR SHALL CLEAN THE PAVED AREAS PRIOR TO REMOVAL OF TEMPORARY SEDIMENT CONTROLS, AS DIRECTED BY THE CITY AND/OR CONSTRUCTION/PROJECT MANAGER. IF POWER WASHING IS USED, NO SEDIMENT LADEN WATER SHALL BE WASHED INTO THE STORM SYSTEM. ALL SEDIMENT LADEN MATERIAL ON PAVEMENT OR WITHIN THE STORM SYSTEM SHALL BE COLLECTED AND REMOVED FROM THE SITE AT CONTRACTOR'S EXPENSE. 12. THE CONTRACTOR WILL, UPON BECOMING AWARE OF SUBSURFACE OR LATENT PHYSICAL CONDITIONS DIFFERING FROM THOSE DISCLOSED BY THE ORIGINAL SOIL EXPLORATION WORK, PROMPTLY NOTIFY THE OWNER VERBALLY TO PERMIT VERIFICATION OF THE CONDITIONS AND IN WRITING, AS TO THE NATURE OF THE DIFFERING CONDITIONS. NO CLAIM BY THE CONTRACTOR FOR ANY CONDITIONS DIFFERING FROM THOSE ANTICIPATED IN THE PLAN AND SPECIFICATIONS AND DISCLOSED BY THE SOIL STUDIES WILL BE ALLOWED UNLESS THE CONTRACTOR HAS SO NOTIFIED THE OWNER, VERBALLY AND IN WRITING AS REQUIRED ABOVE, OF SUCH DIFFERING CONDITIONS. 13. ACCESS THROUGHOUT THE SHOPPING CENTER SHALL REMAIN OPEN AT ALL TIMES. CONTRACTOR SHALL PROVIDE ADEQUATE MAINTENANCE OF TRAFFIC PLAN. CONTRACTOR SHALL COORDINATE SCHEDULE WITH CONSTRUCTION MANAGER.</div></div>	<div><div>GENERAL UTILITY NOTES 1. CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES IMMEDIATELY AFTER BID IS AWARDED AND ENSURE THE UTILITY COMPANIES HAVE THE ESSENTIALS REQUIRED FOR COMPLETE SERVICE. INSTALLATION. CONTRACTOR SHALL NOTIFY CONSTRUCTION MANAGER AND ENGINEER OF ANY TIME FRAMES ESTABLISHED BY UTILITY COMPANIES WHICH WILL NOT MEET OPENING DATE. 2. CONTRACTOR SHALL VERIFY THE SIZE, LOCATION, INVERT ELEVATION, AND CONDITION OF EXISTING UTILITIES WHICH ARE INTENDED TO BE UTILIZED AS A CONNECTION POINT FOR ALL PROPOSED UTILITIES (SEE SHEET C-141). PRIOR TO ANY CONSTRUCTION, CONTRACTOR TO ENSURE EXISTING UTILITIES ARE IN GOOD CONDITION AND FREE FLOWING (IF APPLICABLE). IF ELEVATIONS, SIZE, OR LOCATION DIFFER FROM WHAT IS SHOWN ON SHEET C-141, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY.</div><div><div>STORM SEWER NOTES 1. ALL STORM SEWER PIPE 12" OR GREATER IN DIAMETER SHALL BE CORRUGATED HIGH DENSITY POLYETHYLENE (HDPE) SMOOTH INTERIOR PIPE (UNLESS OTHERWISE NOTED ON PLAN). HDPE PIPE SHALL CONFORM TO ASTM D 3350 AND JOINTS PER ASTM F477. STORM SEWER LESS THAN 12" IN DIAMETER SHALL BE PVC, SDR 35, PER ASTM D 3034 AND JOINTS PER ASTM D 3212 (OR APPROVED EQUAL). 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRENCHING, BACKFILLING AND PIPE INSTALLATION, PIPE MATERIAL AND TAP CONNECTION. COORDINATE ALL WORK WITH THE CITY OF MASSILLON ENGINEERING DEPARTMENT, @ 330-830-1722. 3. ALL DRAINAGE STRUCTURES AT PAVEMENT SUMPS SHALL HAVE FINGER DRAINS PER DETAIL 2, SHEET C-503.</div><div><div>SANITARY SEWER NOTES 1. SANITARY SEWER LATERAL INVERT AT BUILDING SHALL BE A MINIMUM OF 5.0' BELOW FINISH FLOOR. 2. CLEAN-OUTS TO BE INSTALLED AT ALL PIPE BENDS AND ANGLES, UNLESS A MANHOLE IS INDICATED. 3. THE CONTRACTOR SHALL HIRE A LOCAL PLUMBER LICENSED WITH THE LOCAL SANITARY JURISDICTION TO MAKE ALL CONNECTIONS FROM THE BUILDING TO THE EXISTING SANITARY LINE. CONTRACTOR SHALL SECURE A SANITARY SEWER CONNECTION PERMIT PRIOR TO ANY CONSTRUCTION. THE CONTRACTORS PRICE FOR SANITARY SEWER INSTALLATION SHALL INCLUDE ALL FEES AND APPURTENANCES REQUIRED BY THE LOCAL SANITARY JURISDICTION TO PROVIDE A COMPLETE WORKING SERVICE. COORDINATE ALL WORK WITH MASSILLON ENGINEERING DEPARTMENT, JASON HAINES @ 330-830-1722. 4. ALL SANITARY PIPE MATERIAL SHALL BE 8" PVC, SDR 35 CONFORMING TO ASTM D 3034, WITH JOINTS PER ASTM 3212 UNLESS NOTED OTHERWISE ON PLAN.</div><div><div>WATER NOTES 1. WATER SERVICE MATERIALS SHALL BE COPPER TYPE "K" UNLESS OTHERWISE NOTED ON PLANS. DIAMETER SHALL BE AS NOTED ON THESE PLANS (SHEET C-141) AND SHALL BE INSTALLED WITH A MINIMUM COVER OF 42" OR BELOW FROST LINE, WHICHEVER IS GREATER. 2. CONSTRUCTION AND MATERIALS PROVIDED BY THE WATER COMPANY: • TAP MAIN. • FURNISH AND INSTALL CURB STOP & BOX AND WATER METER. • COORDINATE ALL WORK WITH THE AQUA WATER COMPANY, MIKE FRITZ @ 330-832-5764 x202. 3. CONSTRUCTION AND MATERIALS PROVIDED BY THE CONTRACTOR: • FURNISH AND INSTALL COPPER SERVICE LINE FROM CURBSTOP TO BUILDING. • ALL TRENCHING AND BACKFILLING. 4. CONSTRUCTION AND MATERIALS PROVIDED BY MENARDS: • REMOVE AND RELOCATE EXISTING 10" WATER MAIN TO SOUTH SIDE OF TACO BELL PROPERTY. 5. CONTRACTOR SHALL PROVIDE 100% IRRIGATION PER CONSTRUCTION/PROJECT MANAGER AND CITY REQUIREMENTS. COORDINATE SLEEVE LOCATIONS WITH THE CONSTRUCTION/PROJECT MANAGER AND IRRIGATION CONSULTANT PRIOR TO PAVEMENT AND CURB INSTALLATION.</div></div></div></div></div>	<div><div>EXISTING P/L C/L R/W E F H G OH I J K L M N O P Q R S T U V W X Y Z AA AB AC AD AE AF AG AH AI AJ AK AL AM AN AO AP AQ AR AS AT AU AV AW AX AY AZ BA BB BC BD BE BF BG BH BI BJ BK BL BM BN BO BP BQ BR BS BT BU BV BW BX BY BZ CA CB CC CD CE CF CG CH CI CJ CK CL CM CN CO CP CQ CR CS CT CU CV CW CX CY CZ DA DB DC DD DE DF DG DH DI DJ DK DL DM DN DO DP DQ DR DS DT DU DV DW DX DY DZ EA EB EC ED EE EF EG EH EI EJ EK EL EM EN EO EP EQ ER ES ET EU EV EW EX EY EZ FA FB FC FD FE FF FG FH FI FJ FK FL FM FN FO FP FQ FR FS FT FU FV FW FX FY FZ GA GB GC GD GE GF GG GH GI GJ GK GL GM GN GO GP GQ GR GS GT GU GV GW GX GY GZ HA HB HC HD HE HF HG HH HI HJ HK HL HM HN HO HP HQ HR HS HT HU HV HW HX HY HZ IA IB IC ID IE IF IG IH II IJ IK IL IM IN IO IP IQ IR IS IT IU IV IW IX IY IZ JA JB JC JD JE JF JG JH JI JJ JK JL JM JN JO JP JQ JR JS JT JU JV JW JX JY JZ KA KB KC KD KE KF KG KH KI KJ KK KL KM KN KO KP KQ KR KS KT KU KV KW KX KY KZ LA LB LC LD LE LF LG LH LI LJ LK LM LN LO LP LQ LR LS LT LU LV LW LX LY LZ MA MB MC MD ME MF MG MH MI MJ MK ML MM MN MO MP MQ MR MS MT MU MV MW MX MY MZ NA NB NC ND NE NF NG NH NI NJ NK NL NM NN NO NP NQ NR NS NT NU NV NW NX NY NZ OA OB OC OD OE OF OG OH OI OJ OK OL OM ON OO OP OQ OR OS OT OU OV OW OX OY OZ PA PB PC PD PE PF PG PH PI PJ PK PL PM PN PO PP PQ PR PS PT PU PV PW PX PY PZ QA QB QC QD QE QF QG QH QI QJ QK QL QM QN QO QP QQ QR QS QT QU QV QW QX QY QZ RA RB RC RD RE RF RG RH RI RJ RK RL RM RN RO RP RQ RR RS RT RU RV RW RX RY RZ SA SB SC SD SE SF SG SH SI SJ SK SL SM SN SO SP SQ SR SS ST SU SV SW SX SY SZ TA TB TC TD TE TF TG TH TI TJ TK TL TM TN TO TP TQ TR TS TT TU TV TW TX TY TZ UA UB UC UD UE UF UG UH UI UJ UK UL UM UN UO UP UQ UR US UT UU UV UW UX UY UZ VA VB VC VD VE VF VG VH VI VJ VK VL VM VN VO VP VQ VR VS VT VU VV VW VX VY VZ WA WB WC WD WE WF WG WH WI WJ WK WL WM WN WO WP WQ WR WS WT WU WV WW WX WY WZ XA XB XC XD XE XF XG XH XI XJ XK XL XM XN XO XP XQ XR XS XT XU XV XW XX XY XZ YA YB YC YD YE YF YG YH YI YJ YK YL YM YN YO YP YQ YR YS YT YU YV YW YX YY YZ ZA ZB ZC ZD ZE ZF ZG ZH ZI ZJ ZK ZL ZM ZN ZO ZP ZQ ZR ZS ZT ZU ZV ZW ZX ZY ZZ</div><div>PROPOSED CATCH BASIN STORM MANHOLE SANITARY MANHOLE EXTERIOR GREASE INTERCEPTOR ELECTRIC TRANSFORMER LIGHT POLE CURB WHEEL STOP TRAFFIC SIGN PAINTED ADA SYMBOL DIRECTIONAL PAVEMENT MARKINGS TRANSVERSE STRIPING CONCRETE GAS METER SENSOR LOOP AWNING CLEARANCE BAR MENU BOARD MONUMENT SIGN DIRECTIONAL SIGN</div></div> <div><div><div>NOTE TO CONTRACTOR: PRIOR TO COMMENCEMENT OF WORK, GC SHALL CONTACT THE CITY OF MASSILLON ENGINEERING DEPARTMENT AND THE STARK COUNTY SOIL AND WATER CONSERVATION DISTRICT TO SET UP A PRE-CONSTRUCTION MEETING.</div></div></div>

GLAUS PYLE SCHOMER BURNS & DEHAVEN INC.
GPD ASSOCIATES
520 South Main Street, Suite 2331 Akron, Ohio 44311
330-572-2100 / Fax 330-572-2101






	CITY COMMENTS	02-22-10
		
		
		
		
		
		
		
		
		
		
		

CONTRACT DATE: 01.04.10
BUILDING TYPE: T-Y07
PLAN VERSION: T-Y07
SITE NUMBER: 386221/307193
STORE NUMBER: 200908829

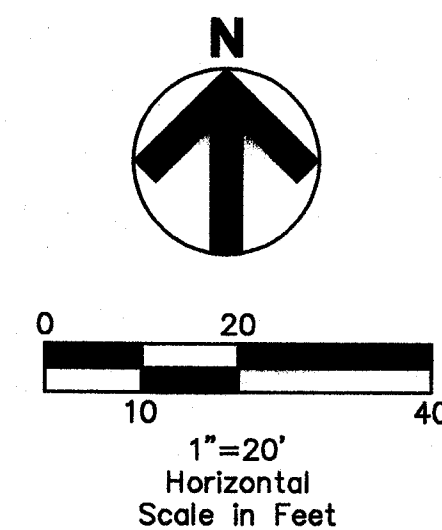
TACO BELL
ERIE ST. SW (OUTLOT #3)
MASSILLON, OH 44646









T-Y07

GENERAL NOTES



C-001

PLOT DATE:



	PROPOSED CONTOUR
	EXISTING SPOT ELEVATION
	PROPOSED ELEVATION @ BOTTOM OF FRONT FACE AND/OR FINISHED PAVEMENT ELEVATION
	TOP OF CURB ELEVATION
	BOTTOM OF CURB/FINISHED PAVEMENT ELEVATION
	MATCH EXISTING ELEVATION
	PROPOSED DRAINAGE SLOPE & DIRECTION

ERIE ST. S.W. (S.R. 21 & U.S. 62, VARIABLE WIDTH)

<h3>Underground Utilities</h3> <div style="display: flex; justify-content: space-between; align-items: center;">  <div style="text-align: center;"> <p>2 Working Days Before You Dig</p> <p>Call 800-362-2764 (Toll Free)</p> <p>Ohio Utilities Protection Service</p> <p>Non-members Must Be Called Directly</p> </div>  </div>	
<p>Call 800-925-0988 (Toll Free)</p> <p>Oil & Gas Producers Utility Protection Service</p>	

BENCHMARKS:

BASIS OF BEARING IS STATE PLANE GRID NORTH, NAD 83(1986), OHIO NORTH ZONE. ELEVATIONS ARE NAVD 88. TIED TO STARK COUNTY SURVEY CONTROL
"PER121"

BENCHMARK #1 - "O" IN WORD OPEN ON TOP OF FIRE HYDRANT AT NORTH ENTRANCE TO MENARDS PARKING LOT.
ELEVATION = 980.76

BENCHMARK #2 - SW ANCHOR BOLT ON LIGHT POLE AT NW CORNER OF SITE.
ELEVATION = 984.67

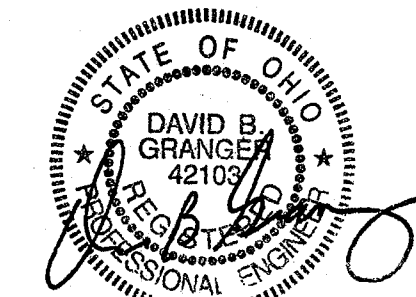
BENCHMARK #3 - "O" IN WORD OPEN ON TOP OF FIRE HYDRANT AT THE SE CORNER OF THE SITE AND ALONG THE WEST RIGHT OF WAY LINE OF ERIE ST. S.W.
ELEVATION = 988.61

*THE PROPOSED TACO BELL SITE IS NOT LOCATED IN A FLOOD ZONE.

GLAUS PYLE SCHOMER BURNS & DEHAVEN INC.

GPD ASSOCIATES

5520 South Main Street, Suite 2531 Akron, Ohio 44311
330-572-2100 • Fax 330-572-2101



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CONTRACT DATE:	01.04.10
BUILDING TYPE:	T-Y07
PLAN VERSION:	T-Y07
SITE NUMBER:	386221/307193
STORE NUMBER:	2009088.29

TACO BELL

ERIE ST. SW (OUTLOT #3)
MASSILLON, OH 44646



T-Y07

GRADING PLAN

C-121

PLOT DATE:

STORM WATER POLLUTION PREVENTION NOTES

- ALL WORK SPECIFIED AS AN ODOT ITEM SHALL BE GOVERNED BY THE CURRENT STATE OF OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATION HANDBOOK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO POSSESS AND TO BE FAMILIAR WITH APPLICABLE SECTIONS.
- THIS CONTRACT DRAWING SHALL BE MADE AVAILABLE ON SITE AT ALL TIMES AND PRESENTED UPON REQUEST. IF UNFORESEEN STORM WATER POLLUTION PREVENTION IS ENCOUNTERED, ADDITIONAL STORM WATER POLLUTION PREVENTION (SWPP) MEASURES MAY BE REQUESTED BY THE OWNER, COUNTY ENGINEER, PROJECT ENGINEER OR SOIL CONSERVATION SERVICE REPRESENTATIVE AT ANYTIME. SUCH REQUESTS SHALL BE IMPLEMENTED IMMEDIATELY AT CONTRACTOR'S EXPENSE.
- ALL STORM WATER POLLUTION PREVENTION ITEMS SHALL BE INSTALLED AS SHOWN OR NOTED ON THIS SHEET.
- PLANT TEMPORARY SEEDING AND MULCHING IN ALL AREAS THAT SHALL BE INACTIVE FOR 21 DAYS OR MORE. ALL DISTURBED AND ERODED EARTH SHALL BE REGRADED AND SEEDED WITHIN 7 DAYS WITH SEEDING, AS DEFINED ABOVE AND AS SHOWN BELOW. TO ESTABLISH STABILITY AND PROVIDE SEDIMENT CONTROL, WHERE POSSIBLE, TEMPORARY SEEDING GROWTH SHALL NOT BE MOWED UNTIL IT HAS GONE TO SEED FOR 1 YEAR.

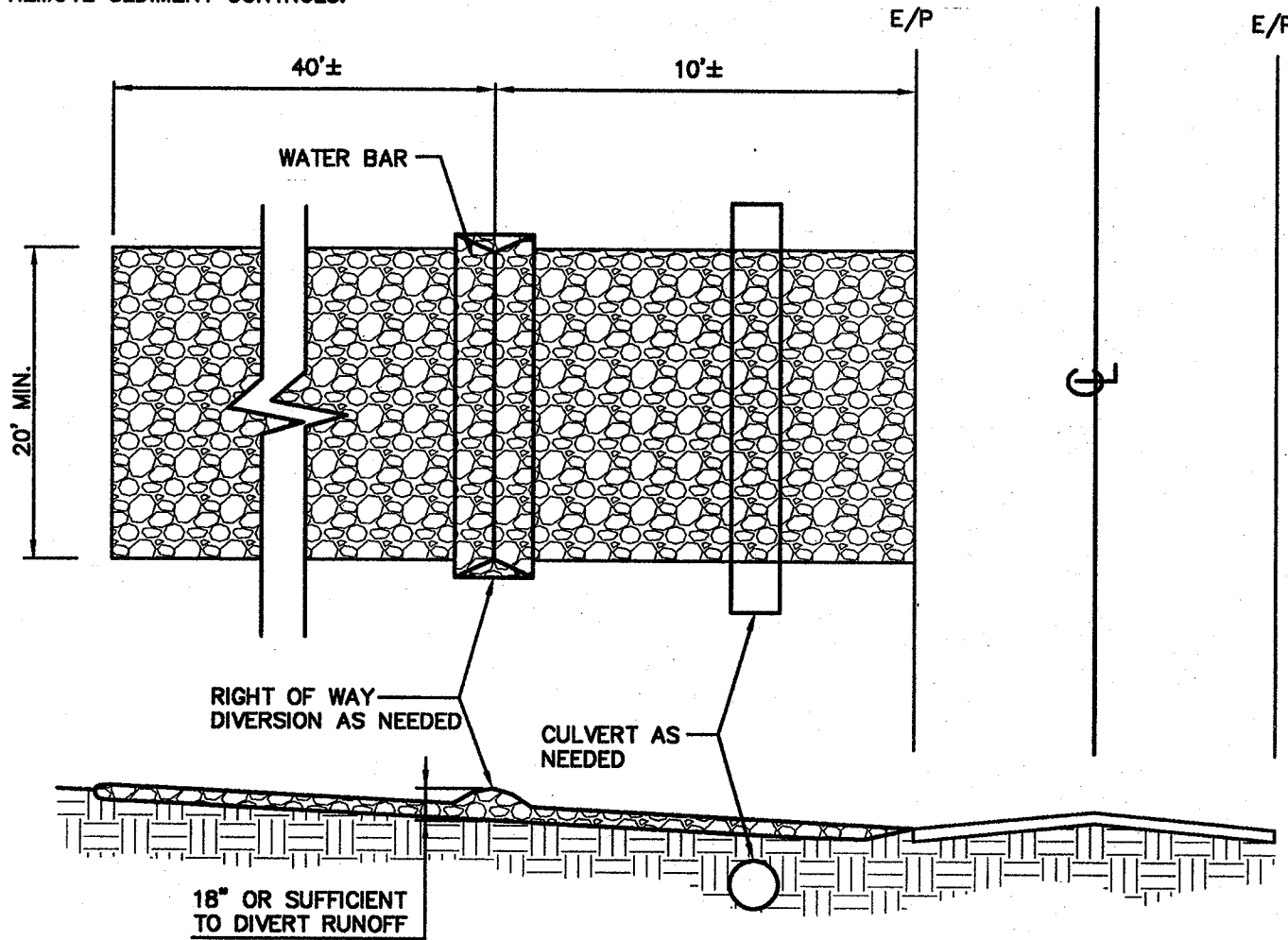
TEMPORARY SEEDING SPECIFICATIONS:

SEEDING DATES	SEED TYPE	APPLICATION RATE PER 1,000 S.F.
MARCH 1 - AUGUST 15	OATS	3#
	PERENNIAL RYE GRASS OR TALL FESCUE	1#
AUGUST 16 - NOVEMBER 1	RYE, WHEAT OR PERENNIAL RYE GRASS	3#
	TALL FESCUE	1#
AFTER NOVEMBER 1	STRAW OR HAY MULCH	2-3 BALES
SEED BED PREPARATION	LIME	100#
	10-10-10 OR 12-12-12 FERTILIZER	12-15#

- PERMANENT VEGETATION SHALL BE INSTALLED WITHIN 7 DAYS AT THE COMPLETION OF ANY GRADED AREAS, WEATHER PERMITTING.
- AT SUCH TIME ROUGH GRADING OF THE SITE IS COMPLETE AND DRAINAGE DIVERTS TO INLETS, INLET SEDIMENT FILTERS SHALL BE INSTALLED AT ALL INLET STRUCTURES TO KEEP PIPING SYSTEMS FREE OF SILTATION.
- SILT BARRIERS SHALL BE INSTALLED AROUND ALL EXISTING OR NEW STORM INLETS, CATCH BASINS, YARD DRAINS. INSTALL ROCK CHECK DAMS FOR HEADWALL INLETS FOR STORM WATER POLLUTION PREVENTION.
- STORM WATER POLLUTION PREVENTION MEASURES SHALL BE INSTALLED AROUND ALL DIRT OR TOPSOIL STOCKPILES AND OTHER TEMPORARILY DISTURBED AREAS AS SHOWN ON THESE PLANS AND AS DIRECTED BY THE ENGINEER.
- CONTRACTOR SHALL INSPECT ALL SWPP MEASURES DAILY AND REPAIR AS NECESSARY TO PREVENT EROSION. SILTATION SHALL BE REMOVED FROM AREAS WHERE FAILURES HAVE OCCURRED AND CORRECTIVE ACTION TAKEN WITHIN 24 HOURS TO MAINTAIN ALL SWPP.
- SILT BARRIERS, CONSTRUCTION ENTRANCES, AND SILT FENCES SHALL REMAIN IN PLACE UNTIL A GOOD STAND OF GRASS HAS BEEN OBTAINED AND/OR PAVING OPERATIONS ARE COMPLETE. CONTRACTOR SHALL KEEP SILT FROM ENTERING ANY STORM DRAINAGE SYSTEM. ONCE SITE HAS BEEN COMPLETELY STABILIZED, ANY SILT IN PIPES AND DRAINAGE SWALES SHALL BE REMOVED WITHIN 10 DAYS.
- TEMPORARY SEDIMENTATION AND STORM WATER POLLUTION PREVENTION MEASURES MUST BE INSPECTED AND LOGGED BY THE CONTRACTOR FOR INSPECTION, LOGGING SHALL BE WEEKLY AND AFTER RAIN STORMS.
- UTILITY COMPANIES MUST COMPLY WITH ALL STORM WATER POLLUTION PREVENTION MEASURES AS DEFINED ON THE STORM WATER POLLUTION PREVENTION PLANS, DETAILS AND NOTES.
- THE TOTAL AREA OF DISTURBANCE FOR THIS PROJECT IS 0.94 ACRES.
- ALL EXISTING WATER COURSES WITHIN THE PROJECT LIMITS SHALL BE TEMPORARILY PROTECTED DURING LAND CLEARING AND GRADING OPERATIONS. SOILS WITHIN 50 FEET OF SAID WATER COURSES SHALL BE STABILIZED WITHIN 2 DAYS OF THE INITIAL CLEARING / GRADING OPERATION AS SHOWN ON PLANS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ALL SEDIMENTATION AND STORM WATER POLLUTION PREVENTION ITEMS AT ALL TIMES.
- ALL STORM WATER POLLUTION PREVENTION PRACTICES WILL BE INSTALLED BEFORE ANY OTHER EARTH MOVING OCCURS.
- THE FOLLOWING STORM WATER POLLUTION PREVENTION AND SEDIMENT CONTROL MEASURES WILL BE USED ON THIS SITE:
 - 17.A. SILT FENCE
 - 17.B. SILT BARRIERS
 - 17.C. CONSTRUCTION ENTRANCE
 - 17.D. CONCRETE WASHOUT FACILITY

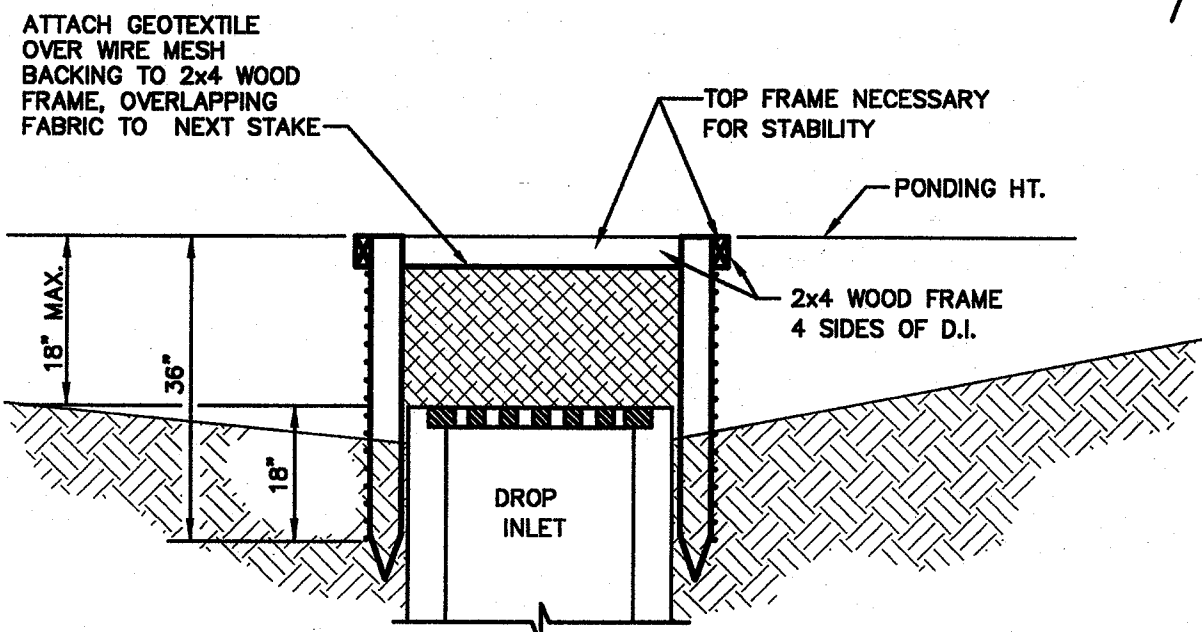
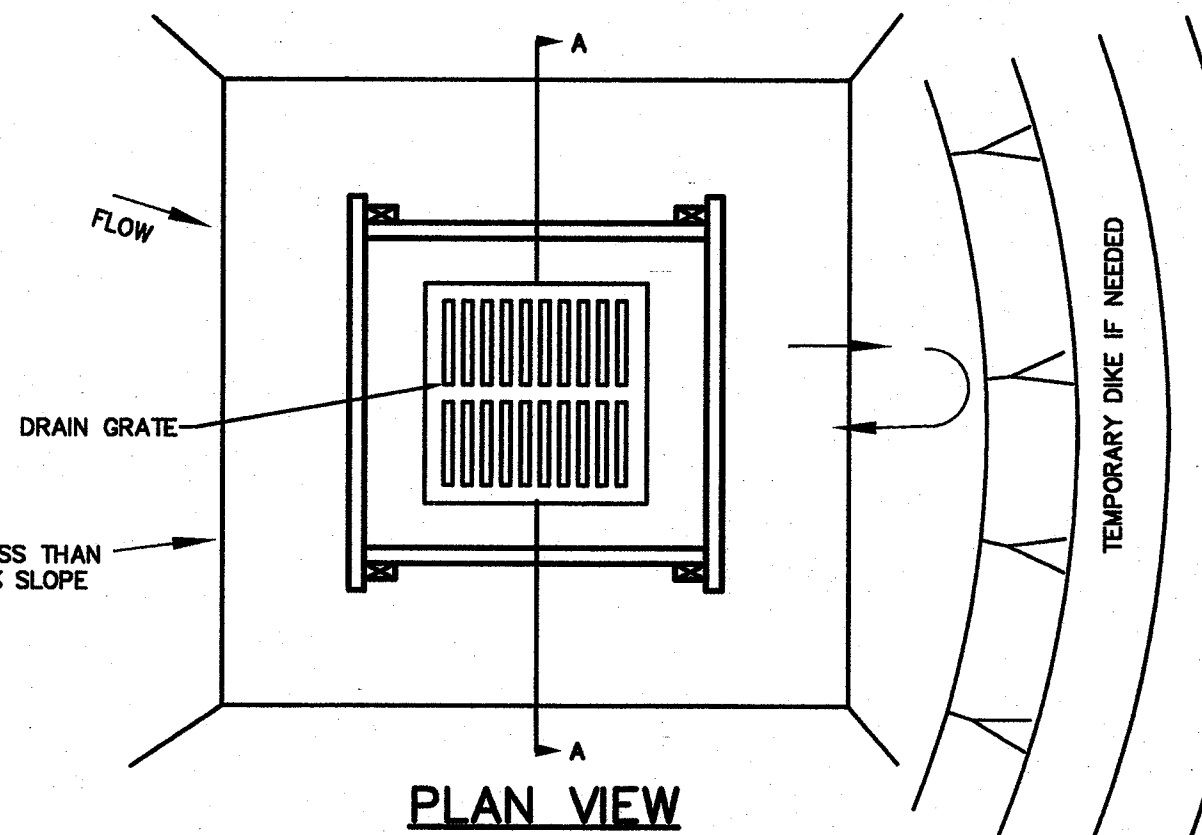
CONSTRUCTION SEQUENCE

- STAKE AND/OR FLAG LIMITS OF CLEARING.
- DURING PRECONSTRUCTION MEETING ALL EROSION & SEDIMENT CONTROL FACILITIES & PROCEDURES SHALL BE DISCUSSED.
- CLEARING & GRUBBING, AS NECESSARY, FOR INSTALLATION OF PERIMETER CONTROLS.
- INSTALL SILT FENCE PERIMETER CONTROLS AS SHOWN ON PLANS.
- INSTALL CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT FACILITY. IF CONDITIONS ARE SUCH THAT MUD IS COLLECTING ON VEHICLE TIRES, THE TIRES MUST BE CLEANED BEFORE THE VEHICLES ENTER THE PUBLIC ROADWAY. THE SITE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT THE TRACKING OR FLOW OF MUD ONTO THE PUBLIC RIGHT-OF-WAY. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO THE ROADWAY MUST BE REMOVED PROMPTLY.
- CLEARING & GRUBBING THE REMAINING SITE AS NECESSARY.
- BEGIN FILLING & GRADING AS REQUIRED TO REACH SUBGRADE.
- CONSTRUCT AND MAINTAIN TEMPORARY DRAINAGE SWALE DURING FILLING & GRADING ACTIVITIES.
- CONSTRUCT SITE WORK INCLUDING STORM DRAINAGE FACILITIES.
- UPON INSTALLATION OF STORM DRAINAGE CATCH BASINS, INSTALL INLET PROTECTION.
- MAINTAIN EROSION & SEDIMENTATION CONTROL MEASURES UNTIL THE SITE HAS BEEN COMPLETELY STABILIZED.
- REMOVE SEDIMENT CONTROLS.



TEMPORARY STABILIZED CONSTRUCTION ENTRANCE

N.T.S.



SECTION A-A

NOTES

- DROP INLET SEDIMENT BARRIERS ARE TO BE USED FOR SMALL, NEARLY LEVEL DRAINAGE AREAS, (LESS THAN 5%).
- USE 2X4 WOOD OR EQUIVALENT METAL STAKES, (3 FT. MIN. LENGTH).
- INSTALL 2X4 WOOD TOP FRAME TO INSURE STABILITY.
- THE TOP OF THE FRAME (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BY-PASSING THE INLET. A TEMPORARY DIKE MAY BE NECESSARY ON THE DOWNSLOPE SIDE OF THE STRUCTURE.
- WIRE MESH SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT FABRIC WITH WATER FULLY IMPOUNDED AGAINST IT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY TO THE FRAME.
- GEOTEXTILE SHALL HAVE AN EQUIVALENT OPENING SIZE OF 20-40 SIEVE AND BE RESISTANT TO SUNLIGHT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY. IT SHALL EXTEND FROM THE TOP OF THE FRAME TO 18 IN. BELOW THE INLET NOTCH ELEVATION. THE GEOTEXTILE SHALL OVERLAP ACROSS ONE SIDE OF THE INLET SO THE ENDS OF THE CLOTH ARE NOT FASTENED TO THE SAME POST.

FABRIC PROPERTIES

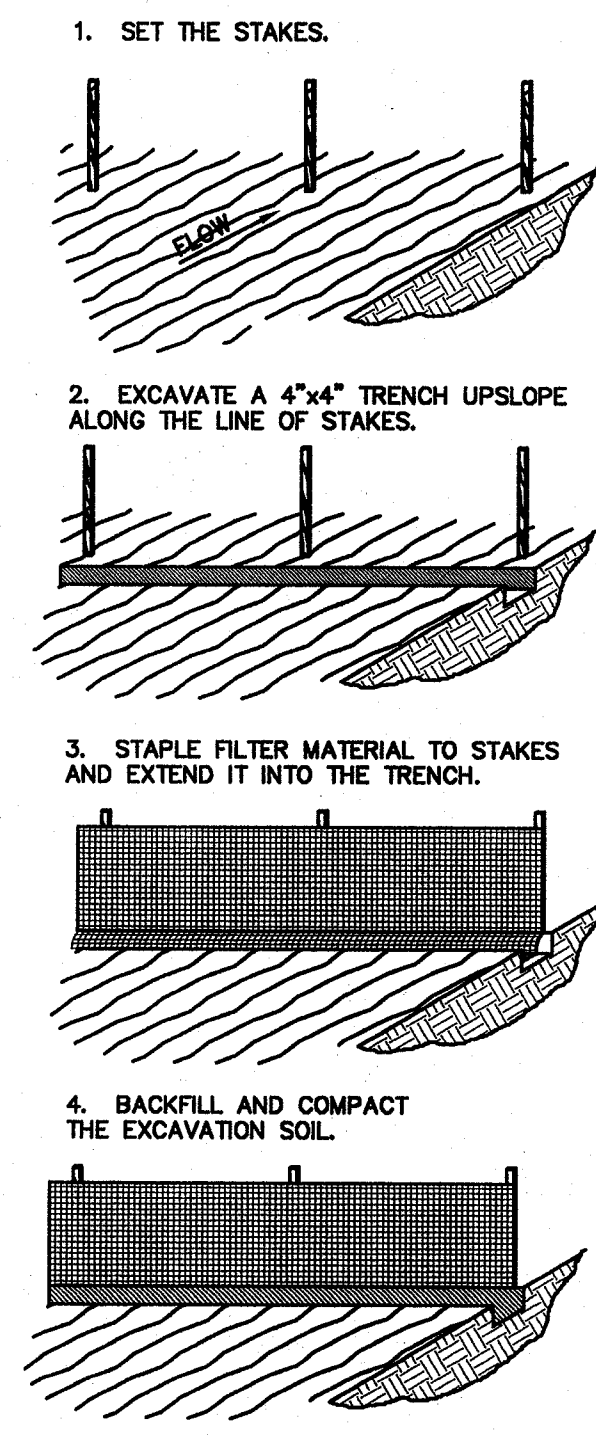
MIN. TENSILE STRENGTH	120 LBS.
MAX. ELONGATION @ 80 LBS.	50%
MIN. PUNCTURE STRENGTH	50 LBS.
MIN. TEAR STRENGTH	40 LBS.
MIN. BURST STRENGTH	200 PSI
APPARENT OPENING SIZE	<=0.84 mm
MIN. PERMITTIVITY	1x10 ⁻²
SEC(-1) ULTRAVIOLET EXPOSURE STRENGTH RETENTION	70%

SILT BARRIER

N.T.S.

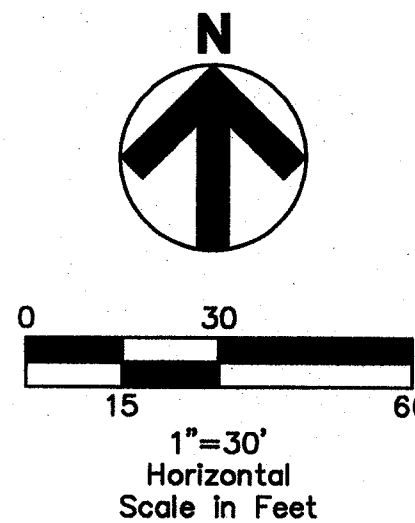
NOTES

- STONE SIZE - NO. 2 STONE SHALL BE USED, OR RECYCLED CONCRETE EQUIVALENT.
- THE CONSTRUCTION ENTRANCE SHALL COINCIDE WITH THE PROPOSED DRIVE AS SHOWN ON THE PLAN.
- PAVEMENT THICKNESS - STONE LAYER SHALL BE 6" THICK FOR STANDARD DUTY ACTIVITY AND 10" THICK FOR HEAVY DUTY ACTIVITY.
- DRIVEWAY WIDTH - THE ENTRANCE SHALL BE AT LEAST 20' WIDE. CONTRACTOR SHALL ENSURE ALL VEHICLES UTILIZE THE CONSTRUCTION ENTRANCE UNTIL PAVEMENT IS IN PLACE.
- BEDDING-A GEOTEXTILE SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING STONE. IT SHALL HAVE A GRAB TENSILE STRENGTH OF AT LEAST 200 LBS. AND A MULLEN BURST STRENGTH OF AT LEAST 190 LBS.
- CULVERT-A PIPE OR CULVERT SHALL BE CONSTRUCTED UNDER THE ENTRANCE IF NEEDED TO PREVENT SURFACE WATER FLOWING ACROSS THE ENTRANCE FROM BEING DIRECTED OUT ONTO PAVED SURFACES.
- WATER BAR - A WATER BAR SHALL BE CONSTRUCTED AS PART OF THE CONSTRUCTION ENTRANCE IF NEEDED TO PREVENT SURFACE WATER FLOWING THE LENGTH OF THE CONSTRUCTION ENTRANCE AND OUT ONTO PAVED SURFACES.
- MAINTENANCE - TOP DRESSING OF ADDITIONAL STONE SHALL BE APPLIED AS CONDITIONS DEMAND. MUD SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC ROADS, OR ANY SURFACE WHERE RUNOFF IS NOT CHECKED BY SEDIMENT CONTROLS, SHALL BE REMOVED IMMEDIATELY. REMOVAL SHALL BE ACCOMPLISHED BY SCRAPING OR SWEEPING.
- CONSTRUCTION ENTRANCES SHALL NOT BE RELIED UPON TO REMOVE MUD FROM VEHICLES AND PREVENT OFF SITE TRACKING. VEHICLES THAT ENTER AND LEAVE THE CONSTRUCTION SHALL BE RESTRICTED FROM MUDDY AREAS.



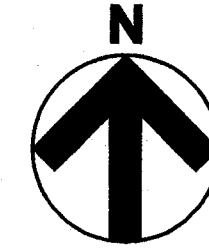
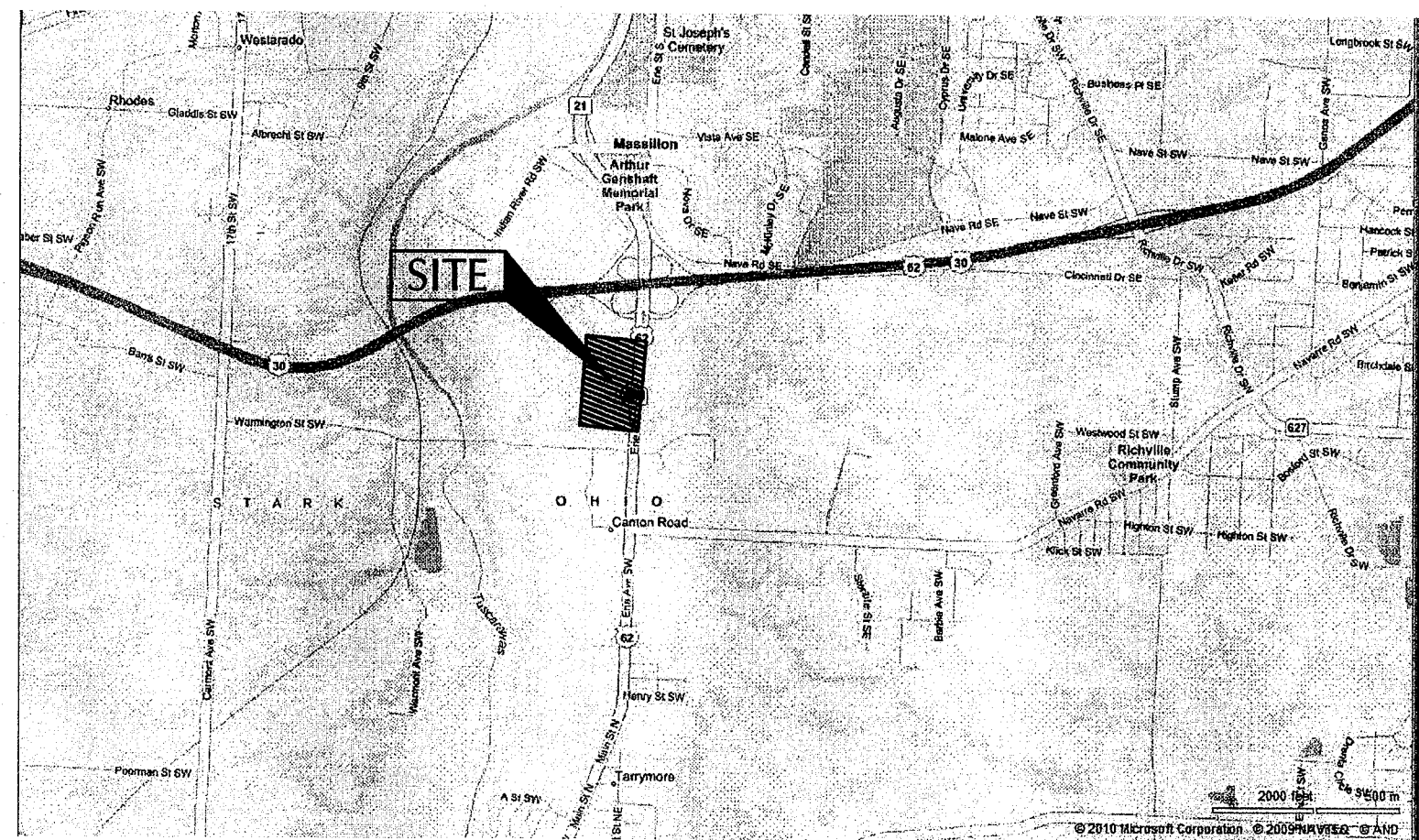
SILT FENCE

N.T.S.

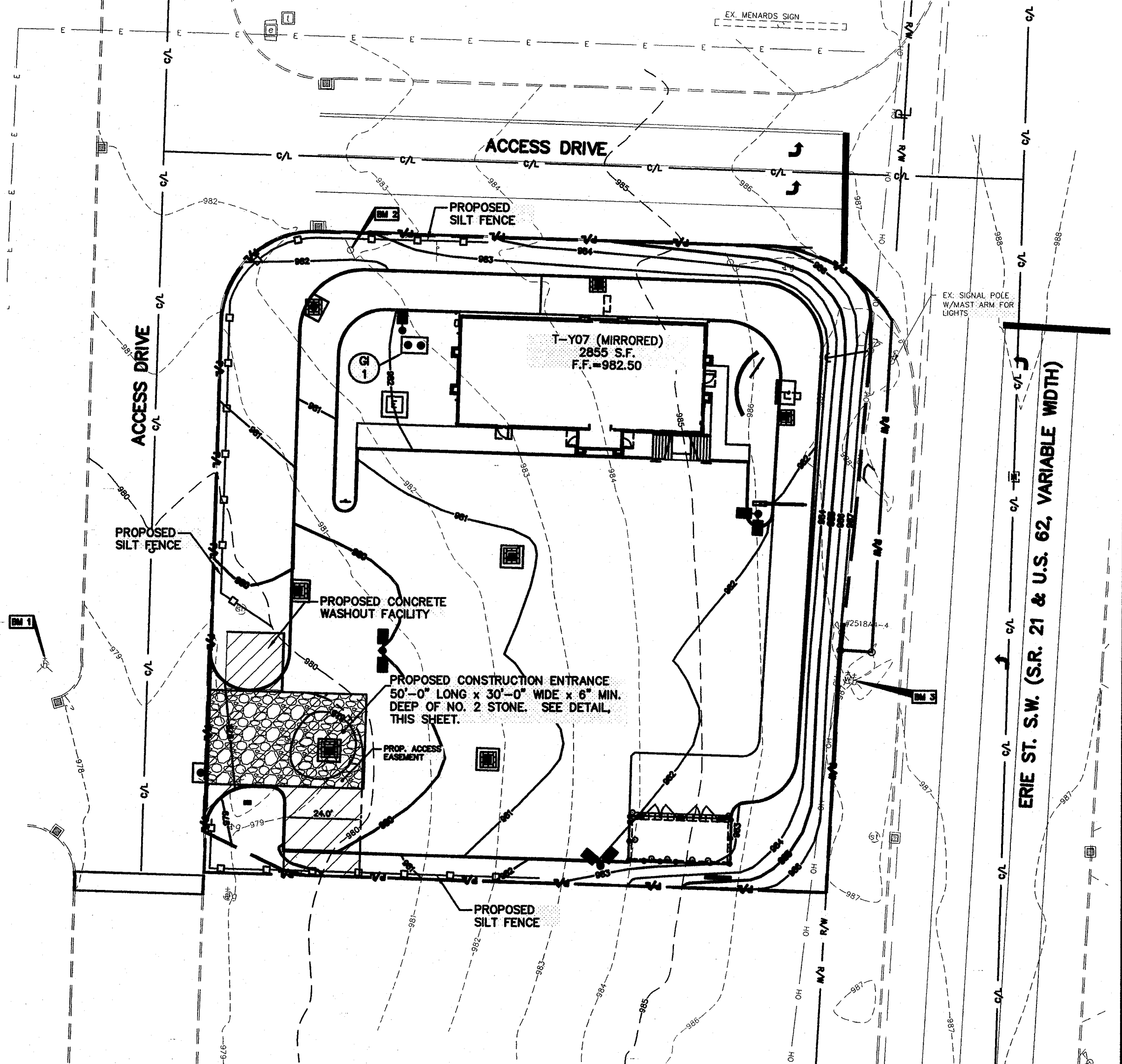


NOTE TO CONTRACTOR:

THE CONTRACTOR SHALL PREVENT AND/OR REDUCE AND CONTROL SOIL EROSION RESULTING FROM THE PROPOSED IMPROVEMENTS. THE USE OF SILT FENCING, JUTE MATTING, TEMPORARY SEEDING, SILT CHECKS, INLET PROTECTION AROUND ALL CATCH BASINS, STABILIZED CONSTRUCTION ENTRANCES(S), ETC. WILL BE REQUIRED. SEDIMENT CONTROL STRUCTURES/DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL RAINWATER AND LAND DEVELOPMENT - OHIO'S STANDARDS FOR STORMWATER MANAGEMENT, LAND DEVELOPMENT AND URBAN STREAM PROTECTION. SEDIMENT CONTROL DEVICES MUST BE INSTALLED PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTINUED INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL DEVICES. THE CONTRACTOR SHALL FOLLOW THE REQUIREMENTS SET FORTH ON THE APPROVED STORMWATER POLLUTION PREVENTION PLAN IF APPLICABLE, OR AS DETAILED ON THE CONSTRUCTION PLANS, AS SPECIFIED BY THE CITY OF MASSILLON.



SITE LOCATION MAP



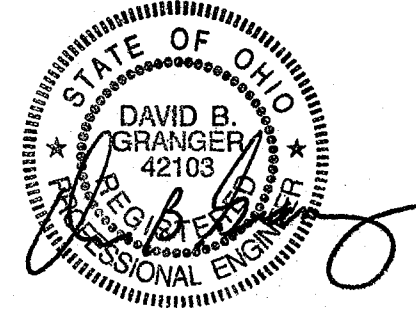
PLAN VIEW

1\"/>

LEGEND

(SEE SHEET C-001 FOR GENERAL LEGEND)

- PROPOSED SILT BARRIER
- PROPOSED SILT FENCE
- PROPOSED CONSTRUCTION ENTRANCE
- LIMITS OF DISTURBANCE



CONTRACT DATE: 01.04.10
BUILDING TYPE: T-Y07
PLAN VERSION: T-Y07
SITE NUMBER: 386221/307193
STORE NUMBER: 2009088.29

TACO BELL

ERIE ST. SW (OUTLOT #3)
MASSILLON, OH 44646



T-Y07

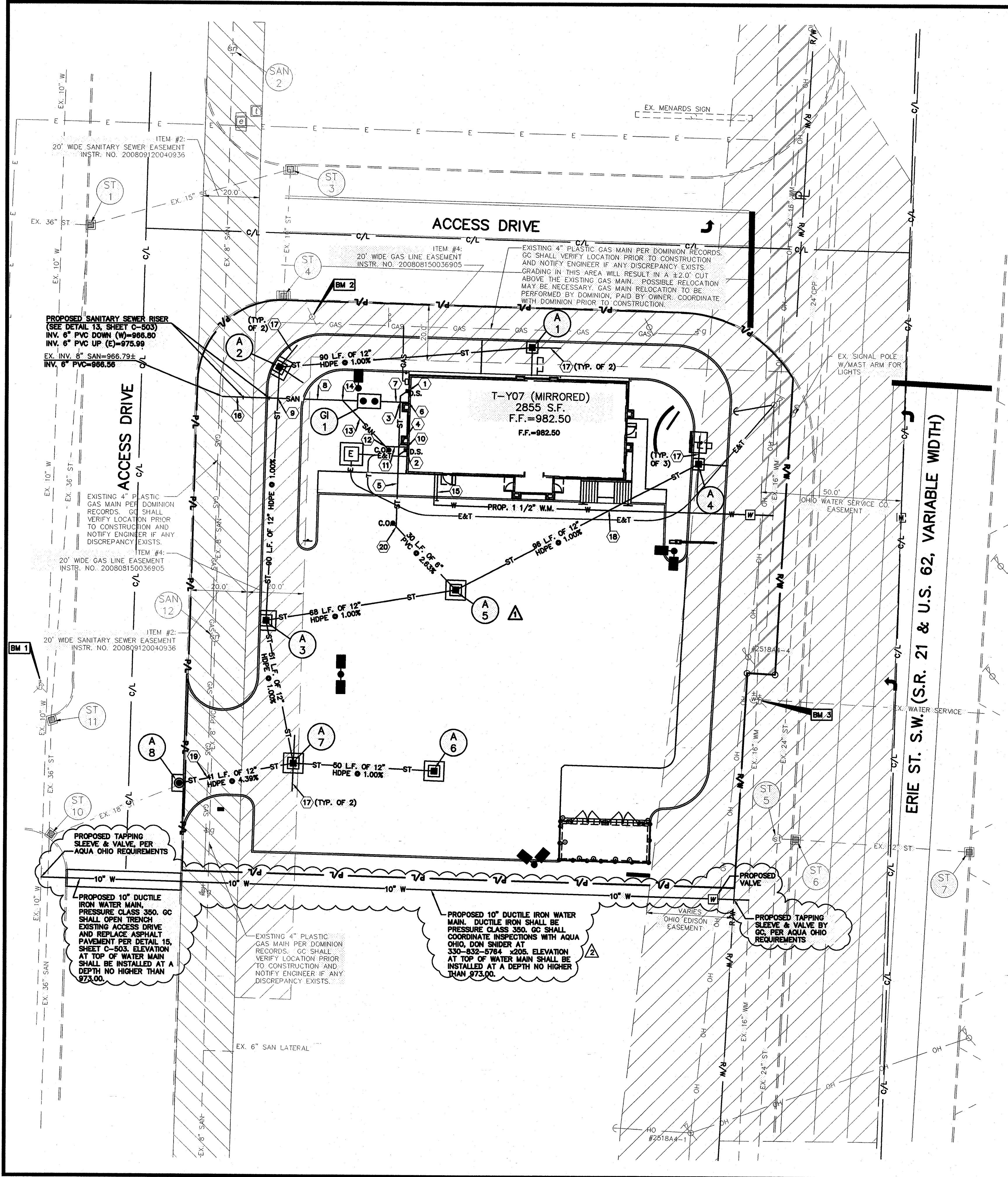
SWPP PLAN
AND DETAILS

C-131

PLOT DATE:

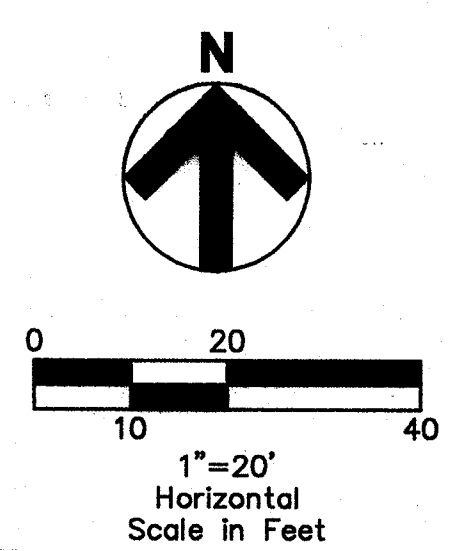
CLAUS PYLE SCHONER BURNS & DEHAVEN INC.
GPD ASSOCIATES
520 South Main Street, Suite 2531 Akron, Ohio 44311
330-572-2100 Fax 330-572-2101





LEGEND
(SEE SHEET C-001 FOR GENERAL LEGEND)

- ST PROPOSED STORM SEWER
- SAN PROPOSED SANITARY SEWER
- W PROPOSED WATER SERVICE
- GAS PROPOSED GAS SERVICE
- E&T PROPOSED UNDERGROUND ELECTRIC & TELEPHONE SERVICE
- D.S. PROPOSED DOWNSPOUT
- C.O. PROPOSED CLEAN OUT
- # APPURTENANCES
- UTILITY CONSTRUCTION NOTE



UTILITY STRUCTURES

- 1** PROPOSED CATCH BASIN (SEE DETAIL 1, SHEET C-503)
RIM=981.84
INV. 15" PVC (E)=974.21
INV. 12" HDPE (W)=977.97
INV. 4" PERF. PVC (S.E.)=980.33
- 2** PROPOSED CATCH BASIN (SEE DETAIL 1, SHEET C-503)
RIM=980.80
INV. 12" HDPE (E.S.)=977.12
INV. 4" PERF. PVC (N.E.S.)=979.55
- 3** PROPOSED CATCH BASIN (SEE DETAIL 1, SHEET C-503)
RIM=979.24
INV. 12" HDPE (N.S.E.)=976.22
- 4** PROPOSED CATCH BASIN (SEE DETAIL 1, SHEET C-503)
RIM=981.50
INV. 12" HDPE (SW)=977.88
INV. 4" PERF. PVC (N.E.S.)=980.25
- 5** PROPOSED CATCH BASIN (SEE DETAIL 1, SHEET C-503)
RIM=980.80
INV. 12" HDPE (N.E.W.)=976.90
INV. 6" PVC (NW)=977.40
- 6** PROPOSED CATCH BASIN (SEE DETAIL 1, SHEET C-503)
RIM=980.46
INV. 12" HDPE (W)=976.21
- 7** PROPOSED CATCH BASIN (SEE DETAIL 1, SHEET C-503)
RIM=978.71
INV. 12" HDPE (N.E.W.)=975.71
INV. 4" PERF. PVC (N.S.)=977.46
- 8** PROPOSED CATCH BASIN (SEE DETAIL 1, SHEET C-503)
RIM=977.91
INV. 12" HDPE (E)=973.91
EX. INV. 18" ST (W)=972.91±
- GI 1** PROPOSED 1,000 GALLON EXTERIOR GREASE INTERCEPTOR (SEE DETAIL 4, SHEET C-503)
RIM=982.35
INV. 6" PVC (E)=977.20
INV. 6" PVC (W)=976.95
- ST 1** EXISTING CATCH BASIN
RIM=981.84
INV. 15" PVC (E)=974.21
INV. 12" CPP (S)=973.19
INV. 36" CPP (W)=973.19
- SAN 2** EXISTING SANITARY SEWER MANHOLE
RIM=984.03
INV. 8" PVC (N)=967.43
INV. 8" PVC (S)=967.43
- ST 3** EXISTING CATCH BASIN
RIM=982.21
INV. 11" PVC (S)=975.21
INV. 15" PVC (W)=975.21
- ST 4** EXISTING CATCH BASIN
RIM=981.99
INV. 10" PVC (N)=974.69
- ST 5** EXISTING CATCH BASIN
RIM=987.39
INV. 24" CPP (N)=979.54
INV. 24" CPP (S)=979.54
INV. 12" CPP (E)=980.49
- ST 6** EXISTING CATCH BASIN
RIM=986.57
INV. 12" CPP (W)=980.72
INV. 12" CPP (E)=980.72
INV. 4" CPP (NE)=982.97
INV. 4" CPP (SW)=982.97
- ST 7** EXISTING CATCH BASIN
RIM=985.60
INV. 12" CPP (W)=982.40
INV. 12" CPP (N)=982.60
- ST 8** EXISTING CATCH BASIN
RIM=978.77
INV. 18" CPP (W)=972.82
- ST 9** EXISTING CATCH BASIN
RIM=977.91
INV. 18" CPP (SW)=972.91
INV. 18" CPP (E)=972.91
- ST 10** EXISTING CATCH BASIN
RIM=977.56
INV. 11" PVC (E)=972.46
INV. 36" CPP (N)=972.46
INV. 36" CPP (S)=972.46
- ST 11** EXISTING CATCH BASIN
RIM=977.93
INV. 36" RCP (N)=
INV. 36" RCP (S)=
- SAN 12** EXISTING SANITARY SEWER MANHOLE
RIM=979.70
INV. 8" PVC (N)=966.35
INV. 8" PVC (S)=966.35

UTILITY KEYNOTES

- 1** INV. 6" PVC=979.50
- 2** INV. 6" PVC=978.90
- 3** INV. 6" PVC (ST)=979.37
INV. 6" PVC (SAN)=977.41
- 4** INV. 6" PVC (ST)=978.93
INV. 6" PVC (SAN)=977.38
- 5** 50 LF OF 6" PVC @ 2.63%
- 6** INV. 6" PVC=977.50
- 7** 10 LF OF 6" PVC @ 3.00%
- 8** 32 LF OF 6" PVC @ 3.00%
- 9** INV. 6" PVC=975.75
INV. 12" HDPE=977.01
- 10** INV. 6" PVC=977.42
- 11** 8 LF OF 6" PVC @ 2.00%
- 12** C.O. INV. 6" PVC=977.26
- 13** 23 LF OF 6" PVC @ 2.00%
- 14** INV. 6" PVC WYE=976.80
- 15** PROPOSED 1" IRRIGATION LINE TO BE EXTENDED BY G.C.
- 16** 8 LF OF 6" PVC @ 3.00%
- 17** 10 LF OF 4" PERF. PVC @ 1.00% (MIN.), PER DETAIL 2, SHEET C-503.
- 18** DEFLECT WATERLINE BELOW PROPOSED STORM.
- 19** GC SHALL VERIFY EXISTING ELEVATION OF GAS MAIN. IF DISCREPANCY EXISTS BETWEEN EXISTING GAS MAIN AND PROPOSED STORM SEWER, NOTIFY ENGINEER IMMEDIATELY.
- 20** C.O. INV. 6" PVC=978.19

Underground Utilities

2 Working Days Before You Dig
Call 800-362-2764 (Toll Free)
Ohio Utilities Protection Service

Non-members Must Be Called Directly
Call 800-925-0988 (Toll Free)
Oil & Gas Producers Utility Protection Service

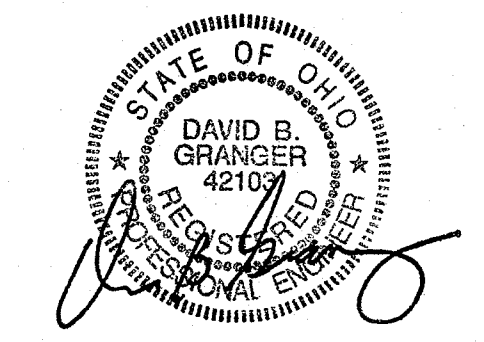
BENCHMARKS:
BASIS OF BEARING IS STATE PLANE GRID NORTH, NAD 83(1986), OHIO NORTH ZONE. ELEVATIONS ARE NAVD 88. TIED TO STARK COUNTY SURVEY CONTROL "PER121"

BENCHMARK #1 - "O" IN WORD OPEN ON TOP OF FIRE HYDRANT AT NORTH ENTRANCE TO MENARDS PARKING LOT.
ELEVATION = 980.76

BENCHMARK #2 - SW ANCHOR BOLT ON LIGHT POLE AT NW CORNER OF SITE.
ELEVATION = 984.67

BENCHMARK #3 - "O" IN WORD OPEN ON TOP OF FIRE HYDRANT AT THE SE CORNER OF THE SITE AND ALONG THE WEST RIGHT OF WAY LINE OF ERIE ST. S.W.
ELEVATION = 988.61

CLAUS PYLE SCHONER BURNS & DEHAVEN, INC.
CPD ASSOCIATES
520 South Main Street, Suite 2531 Akron, Ohio 44311
330-572-2100 / Fax 330-572-2101



△ CITY COMMENTS	02-22-10
△ WATER REVISIONS	03-04-10
△	
△	
△	
△	
△	
△	
△	

CONTRACT DATE: 01.04.10
BUILDING TYPE: T-Y07
PLAN VERSION: T-Y07
SITE NUMBER: 386221/307193
STORE NUMBER: 2009088.29

TACO BELL

ERIE ST. SW (OUTLOT #3)
MASSILLON, OH 44646

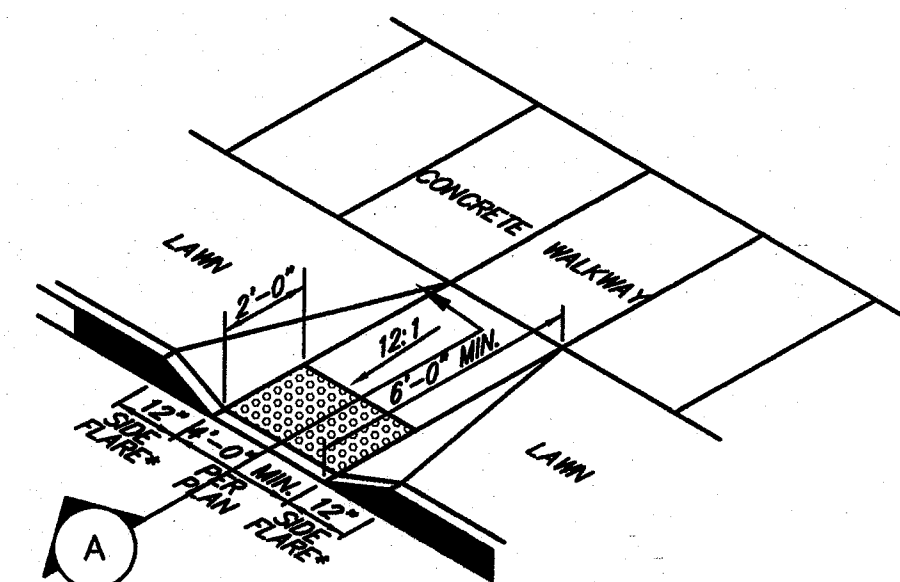
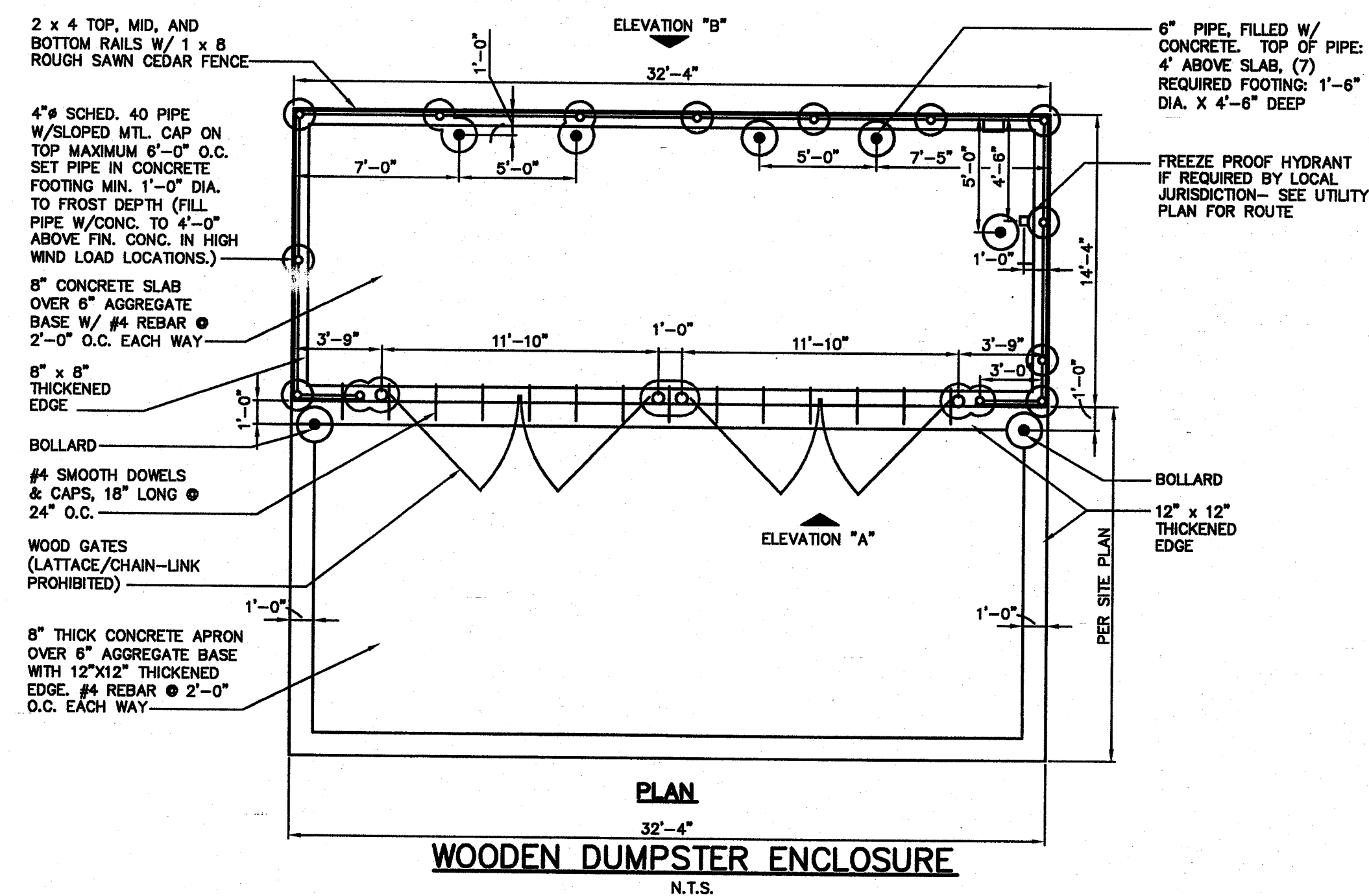
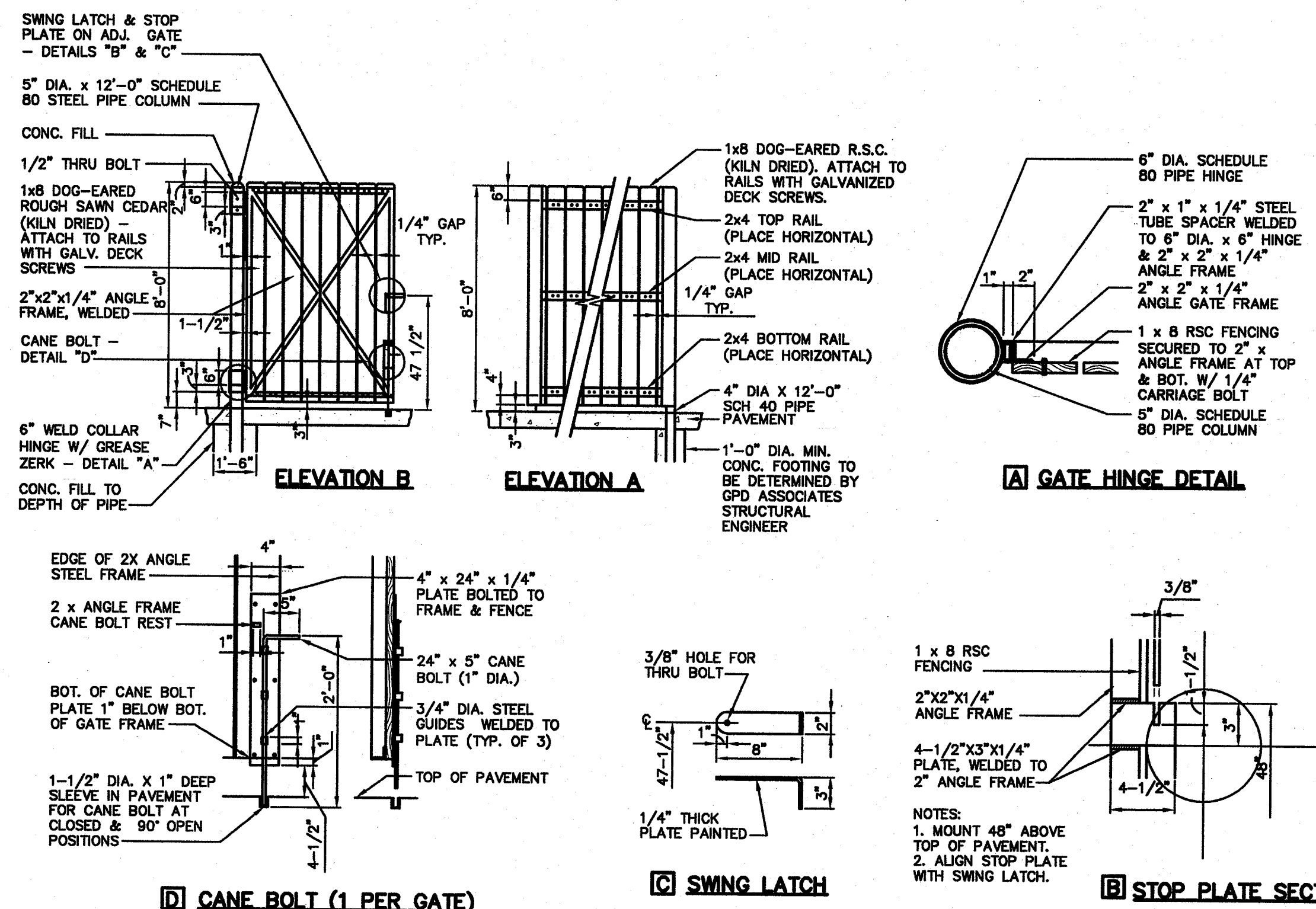


T-Y07

UTILITY PLAN

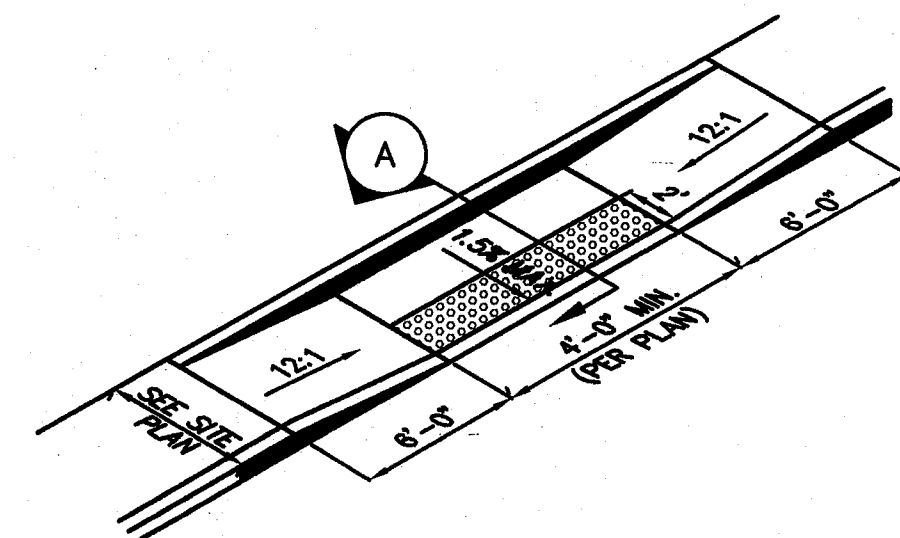
C-141

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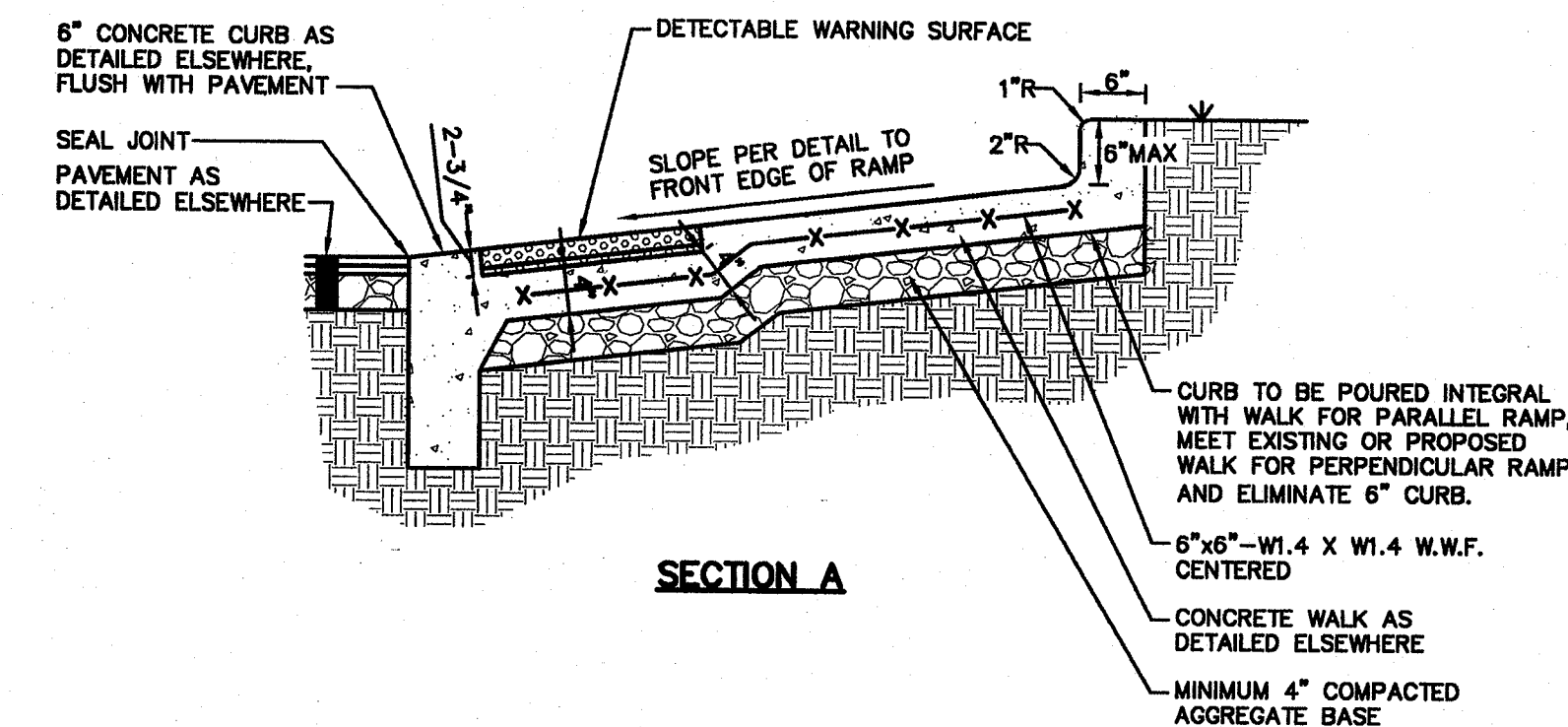


*NOTE: IF RAMP IS ADJACENT TO WALKWAY INSTEAD OF LAWN AS SHOWN ABOVE, THEN SIDE FLARES SHALL BE 6'-0" IN LIEU OF 12".

PERPENDICULAR RAMP



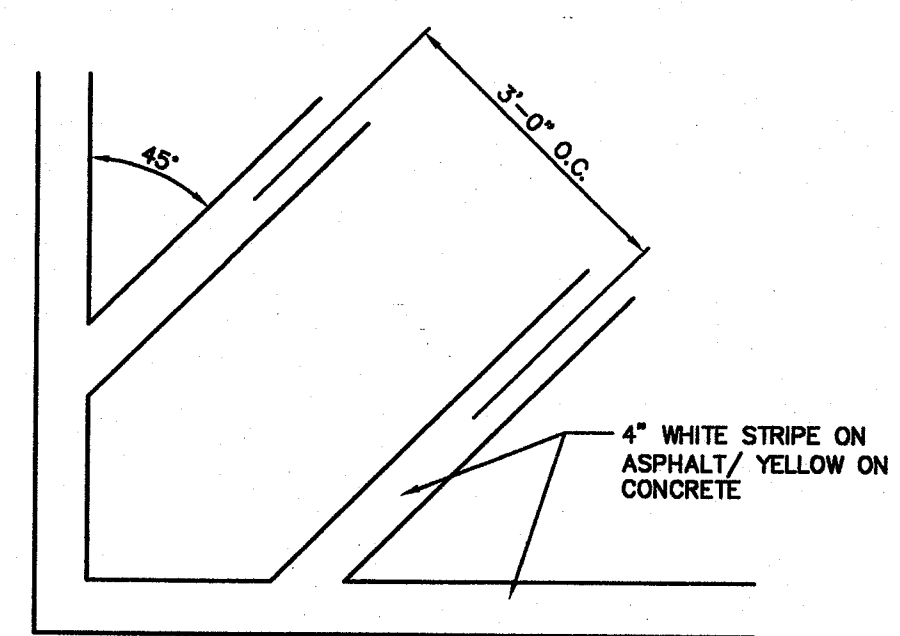
PARALLEL RAMP



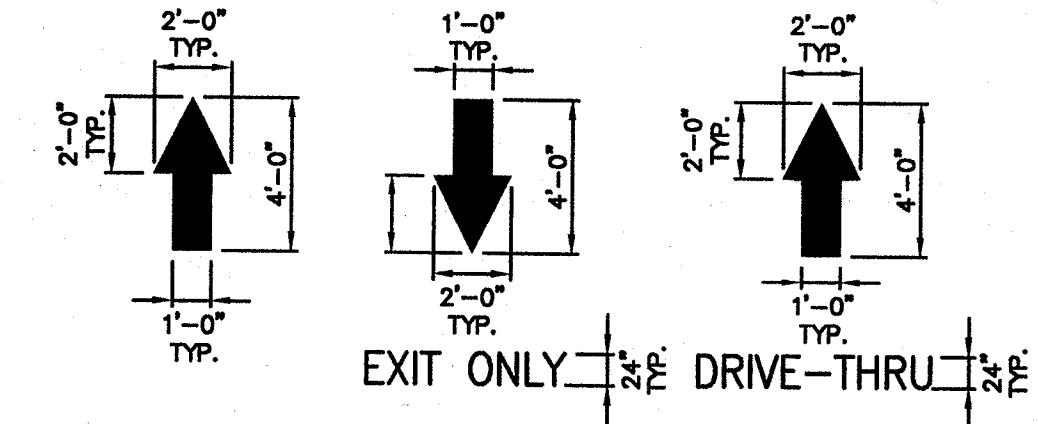
SECTION A

- DETECTABLE WARNINGS**
1. WHITACRE GREER PAVERS, COLOR 30, INSTALLED ON A 1/2" DEEP LATEX MODIFIED CEMENT MORTAR SETTING BED OR ARMOR-TILE TACTILE SYSTEMS DETECTABLE WARNING SURFACE TILE PER ARMOR-TILE SPECIFICATIONS FOR INSTALLATION (WWW.ARMOR-TILE.COM)
 2. DETECTABLE WARNING COLOR SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT.

ADA ACCESSIBLE RAMP
N.T.S.

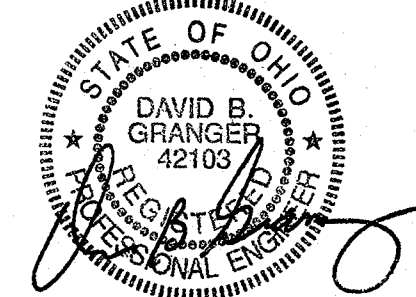


TRANSVERSE STRIPING
N.T.S.



- NOTES:**
- ALL PAVEMENT MARKINGS TO BE WHITE PAVEMENT PAINT, UNLESS STATED OTHERWISE.
- MARKING (STRIPING) PAINT FOR PARKING SPACES, TRAFFIC ARROWS, ADA PARKING AND SYMBOLS, ETC., PER ASTM-P-78-88T STANDARDS AND AS FOLLOWS:
- NEW SURFACES: RUBBER BASE TYPE (CHLORINATED RUBBER) TO MEET FEDERAL SPECIFICATION TTP-115.
- EXISTING SURFACES WITHOUT ANY SEAL COATING: OIL BASE (ALKYD RESIN) TYPE TO MEET FEDERAL SPECIFICATION TTP-85.
- NEW OR EXISTING SURFACES WITH A TOP COATING OR SEAL COATING (USUALLY WATER BASE): WATER BASE TYPE TO MEET FEDERAL SPECIFICATION TTP-01952.
- PROVIDE A NON-SLIP AGGREGATE ADDITIVE TO MARKING PAINT USED AT ADA ACCESS RAMP.
- APPLY 2 COATS WITH STRAIGHT EDGES, YELLOW ON CONCRETE/WHITE ON ASPHALT EXCEPT WHEN MATCHING ADJACENT OR EXISTING COLOR WHEN THE PAVING IS AN EXPANSION OR SEGMENT OF A LARGER LOT.
- PAINT ADA SYMBOLS BLUE.

PAVEMENT MARKINGS & NOTES
N.T.S.



CONTRACT DATE: 01.04.10
BUILDING TYPE: T-Y07
PLAN VERSION: T-Y07
SITE NUMBER: 386221/307193
STORE NUMBER: 2009068.29

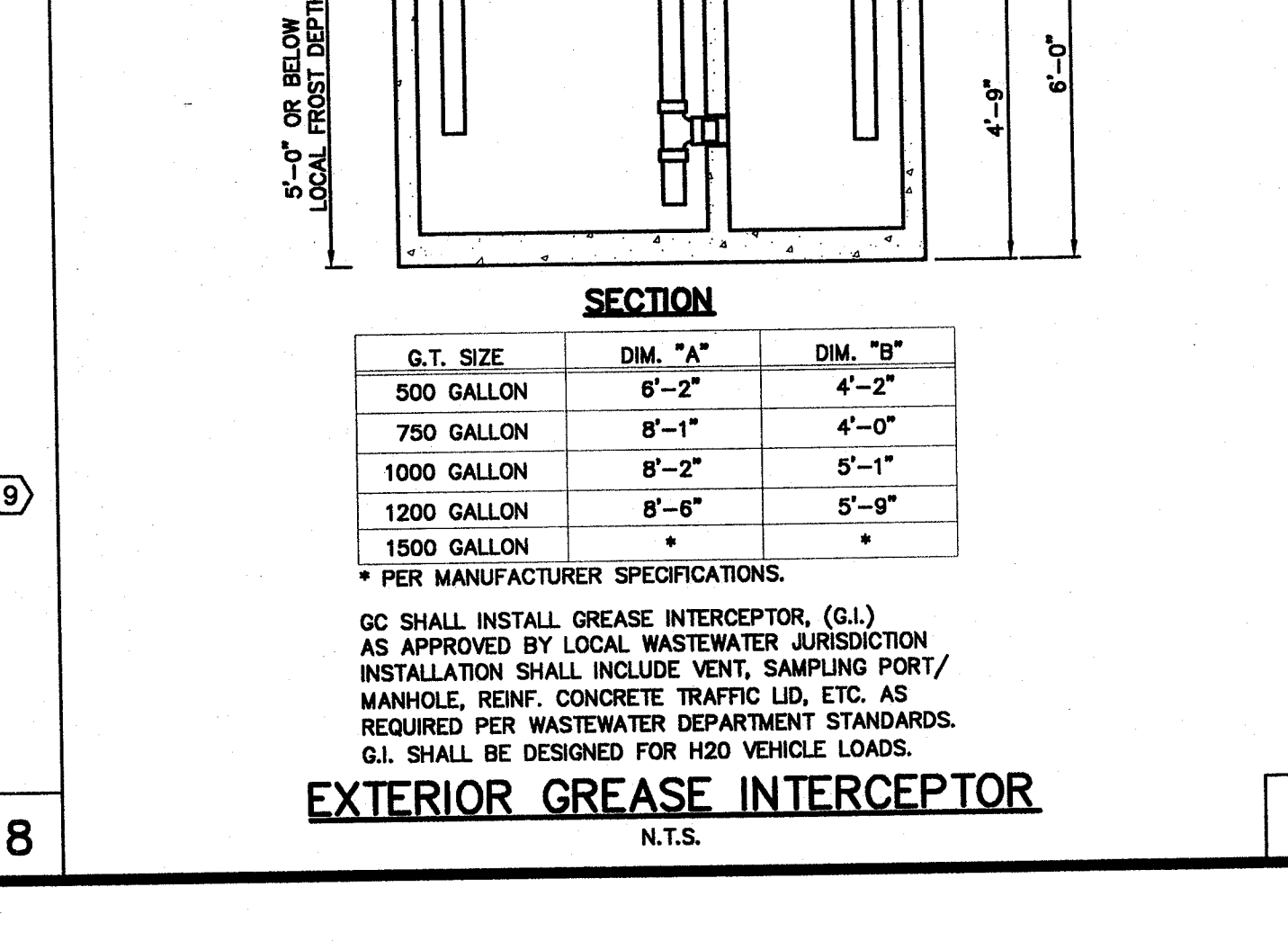
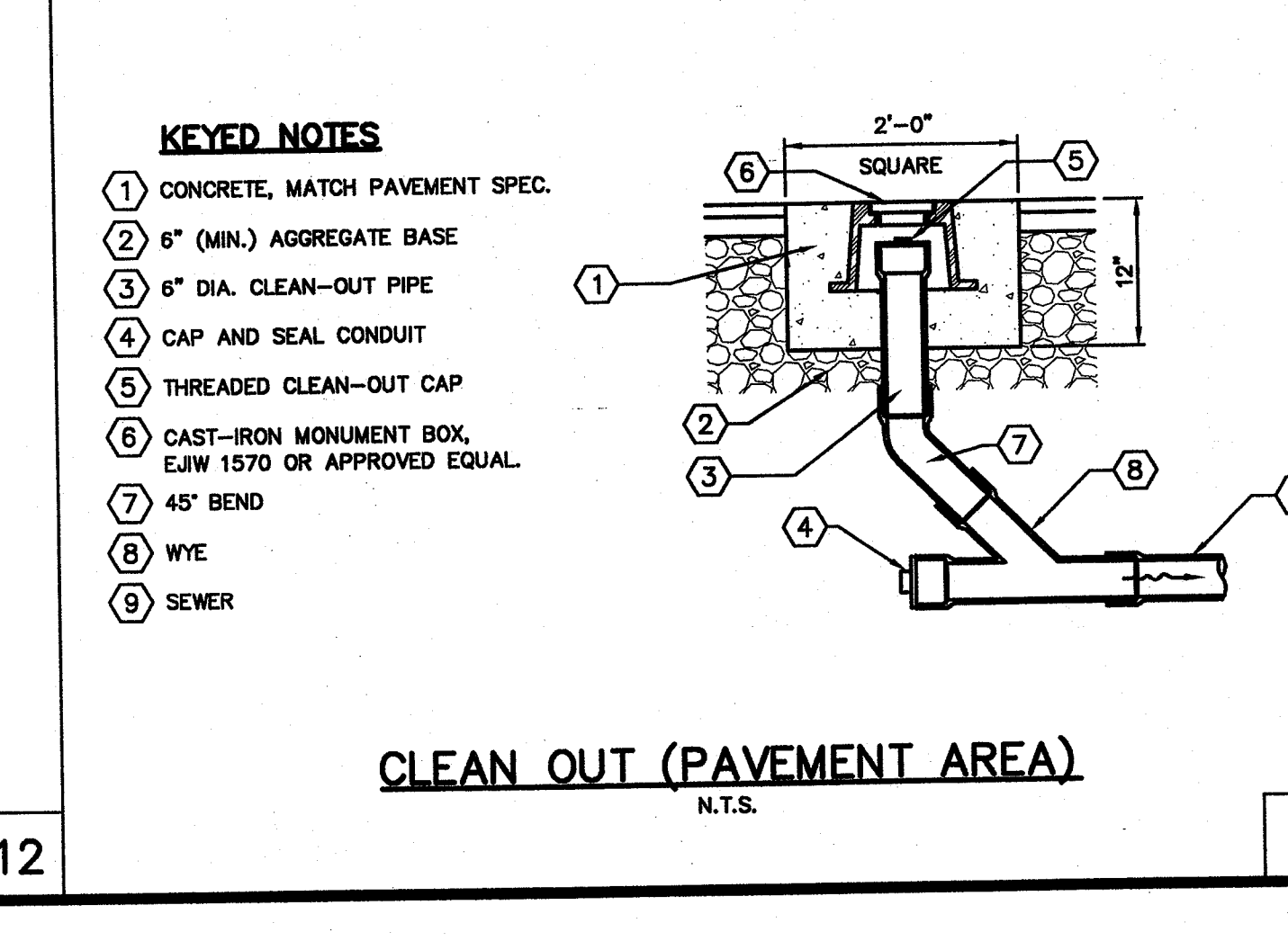
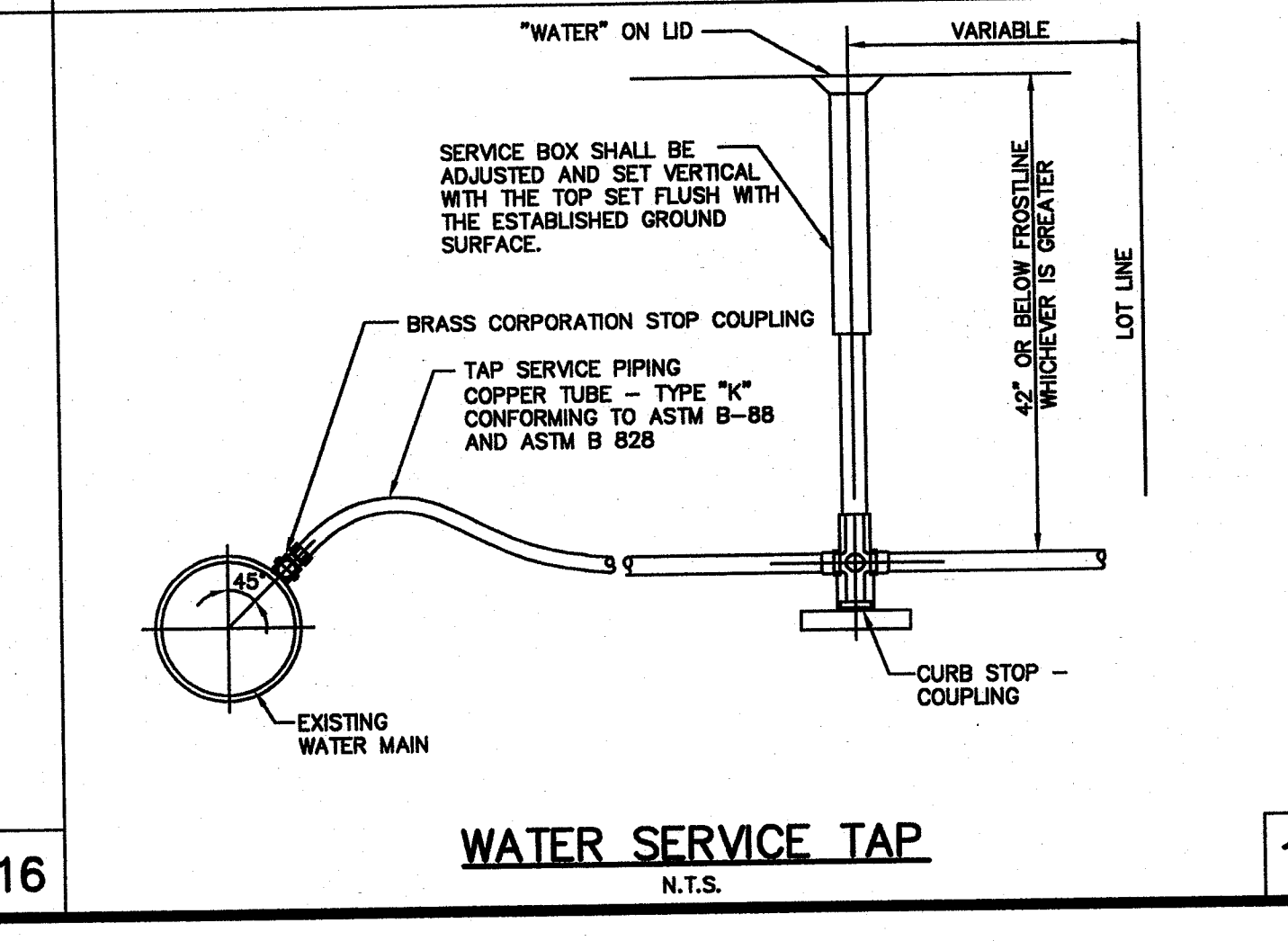
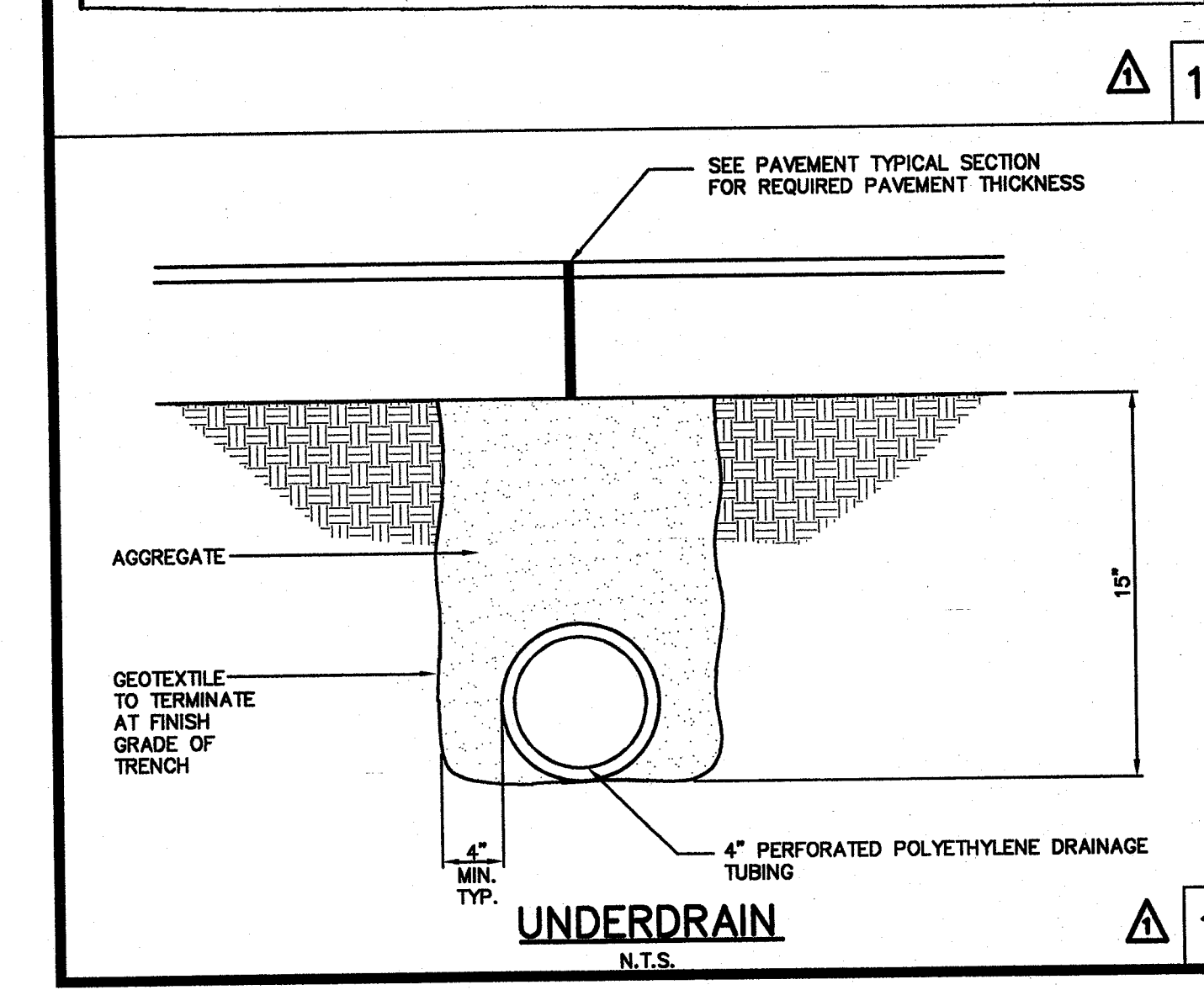
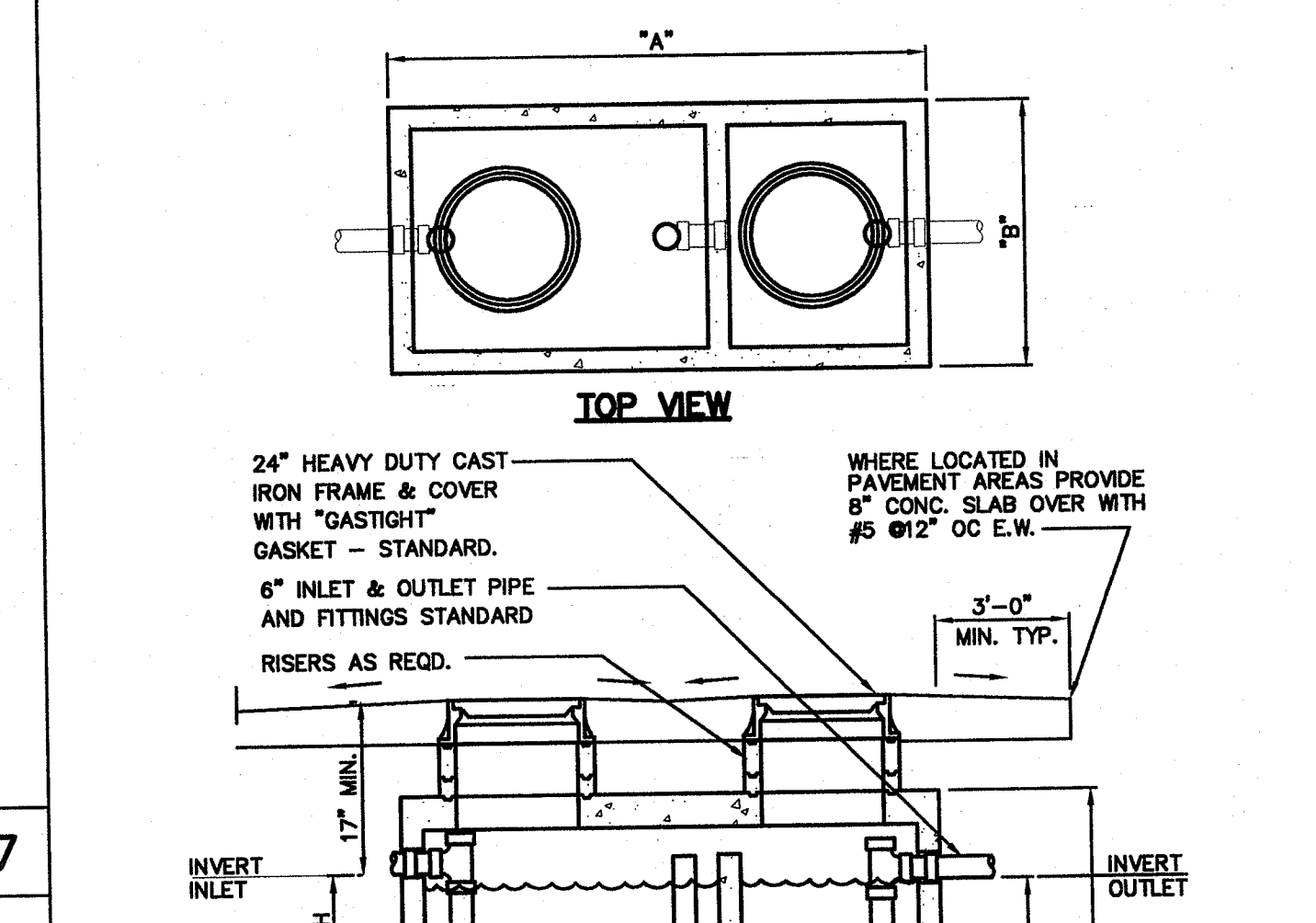
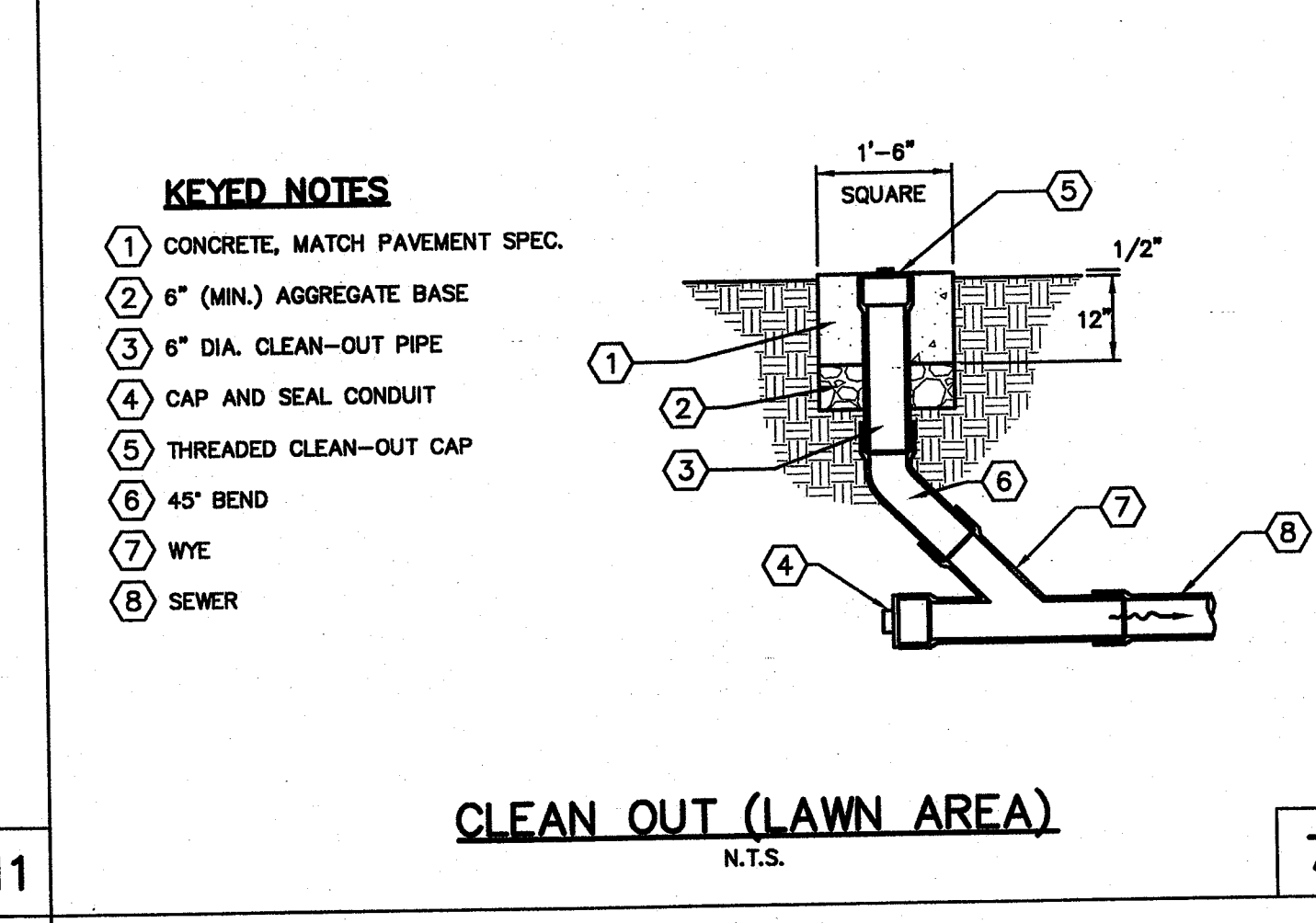
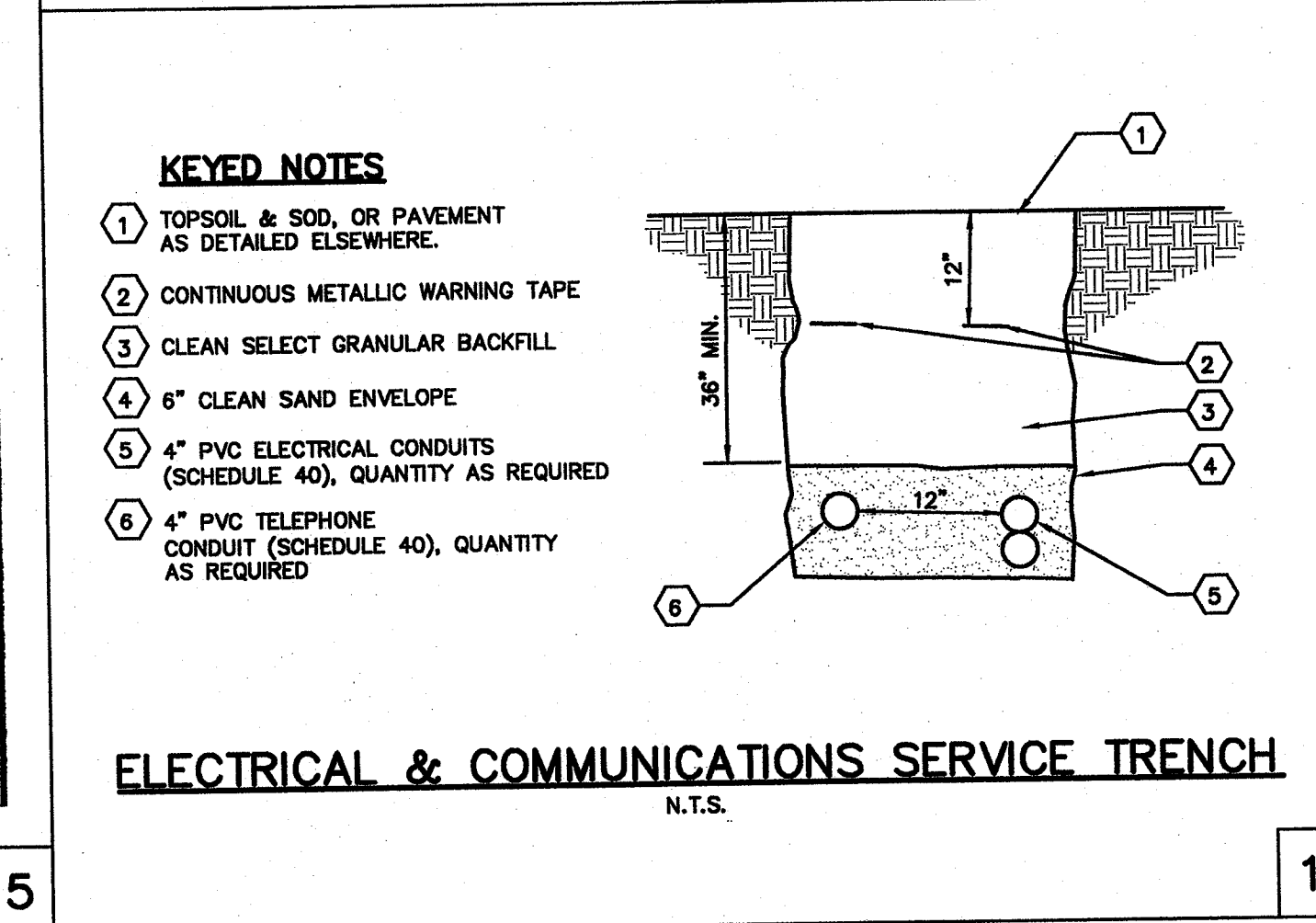
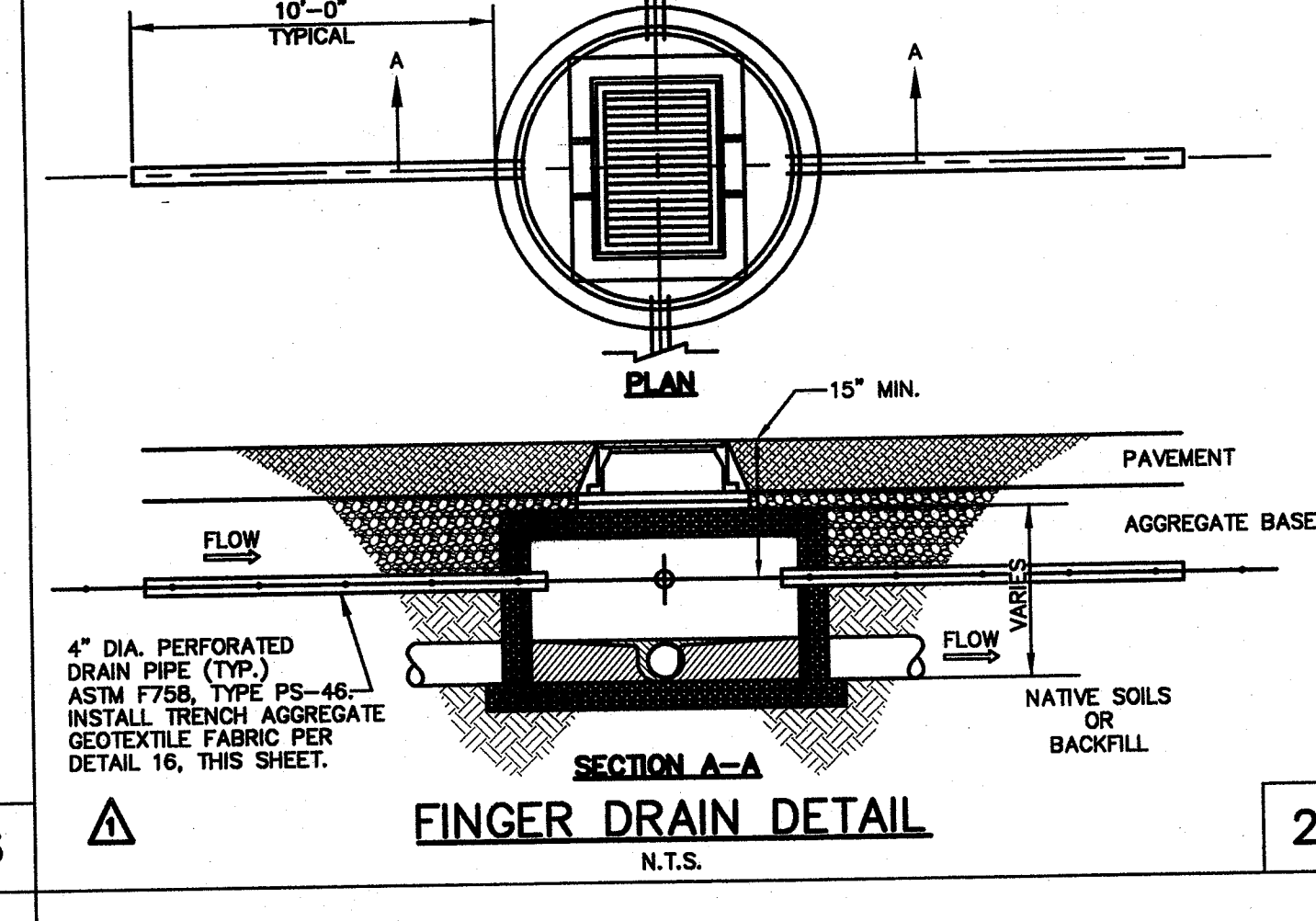
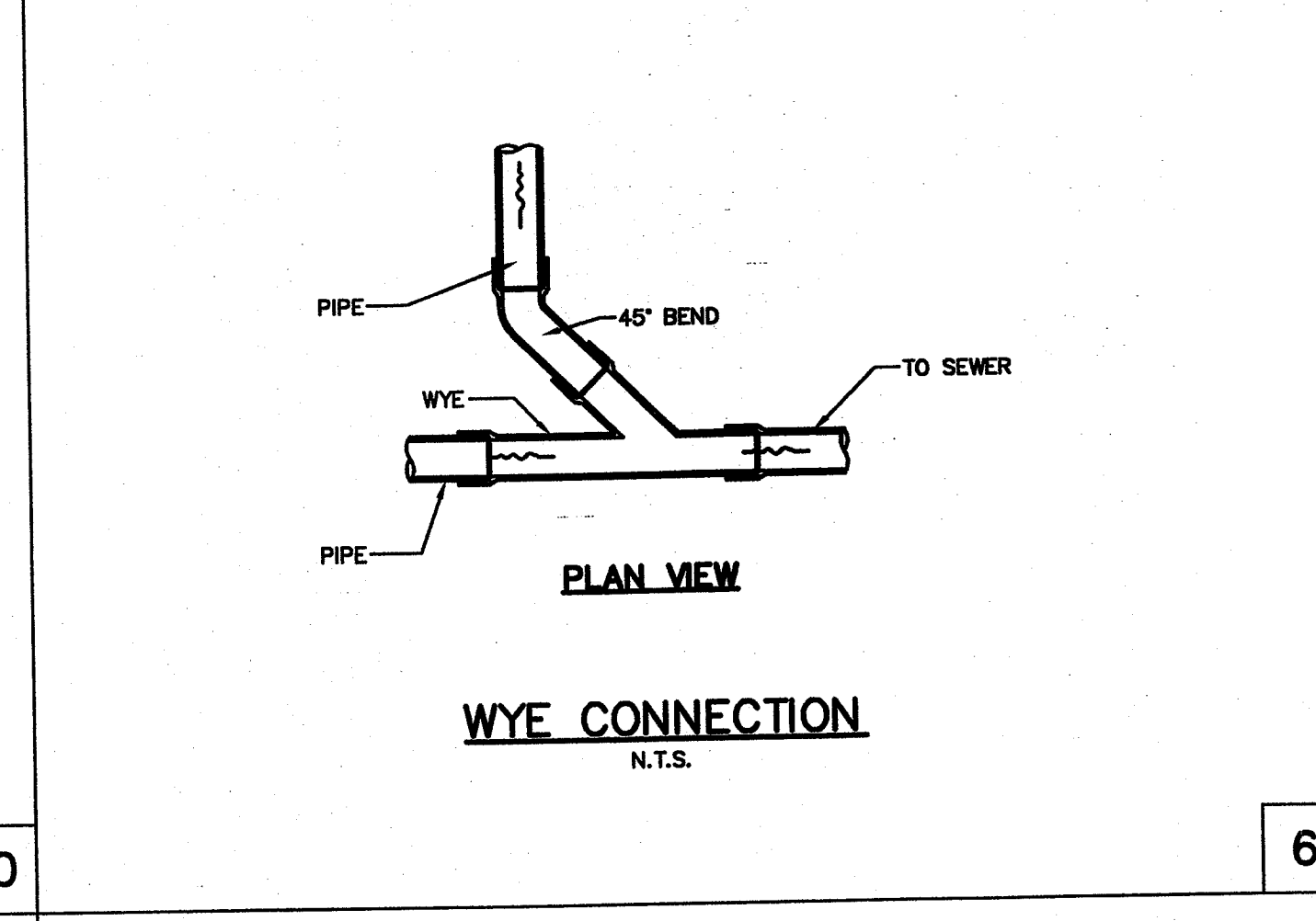
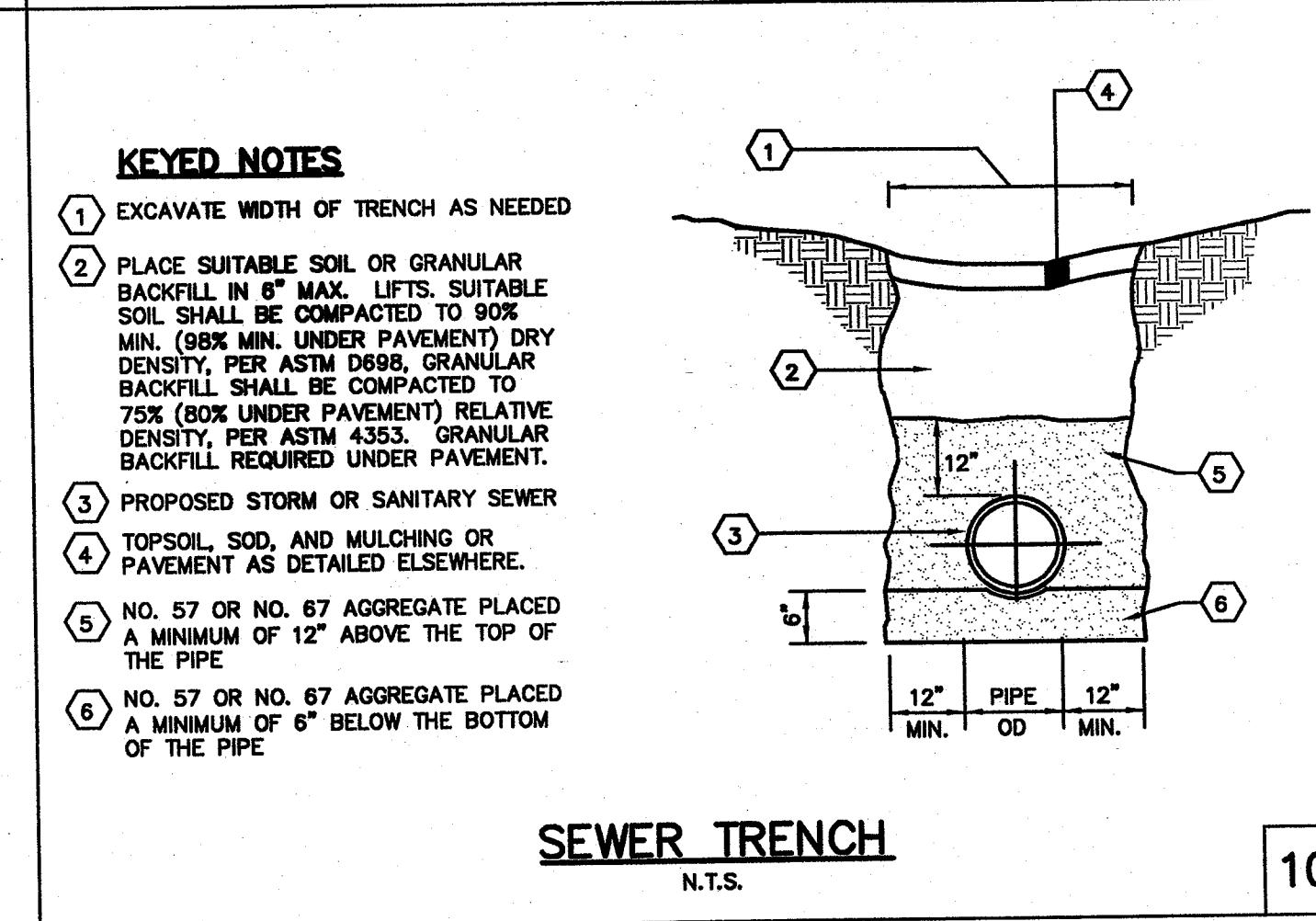
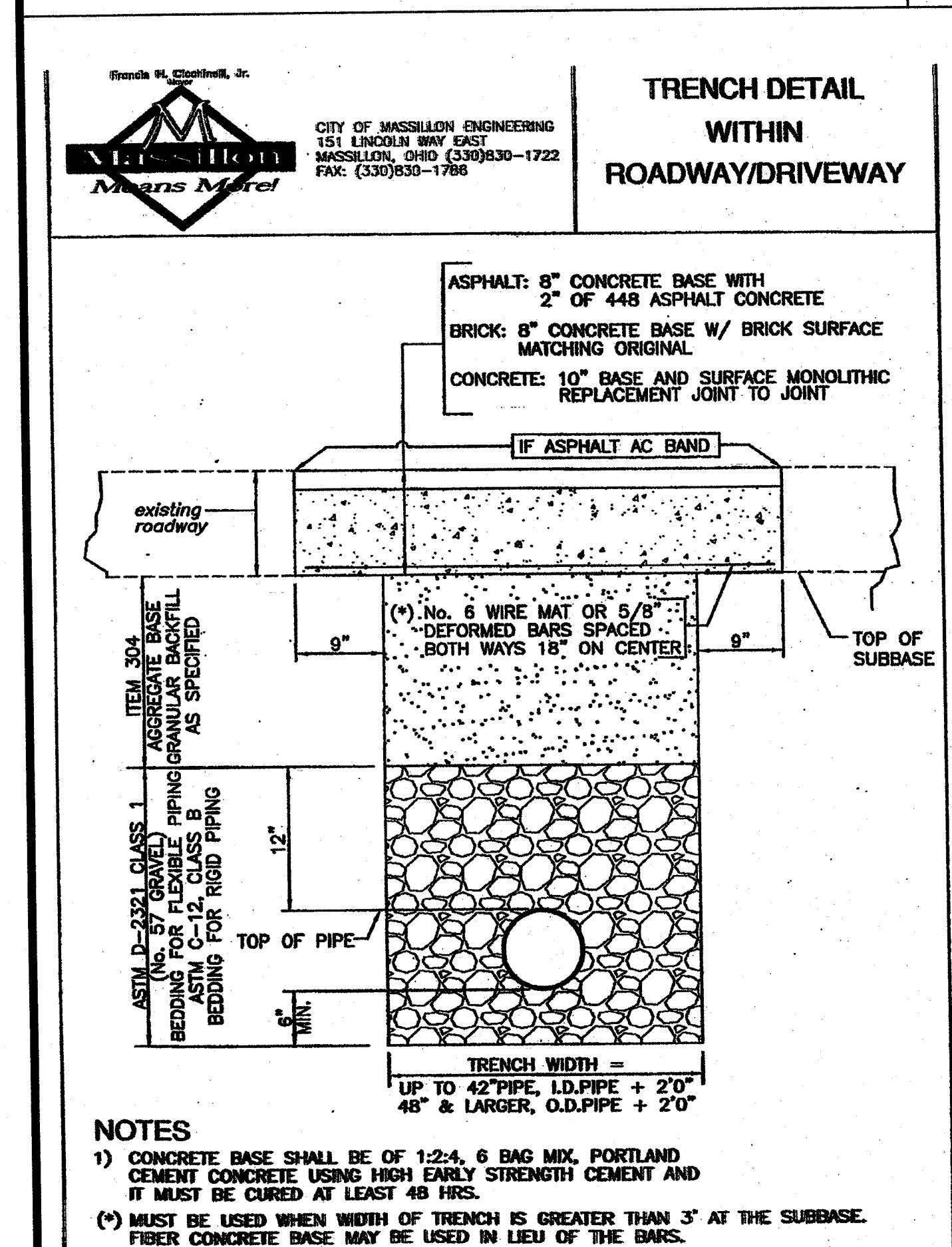
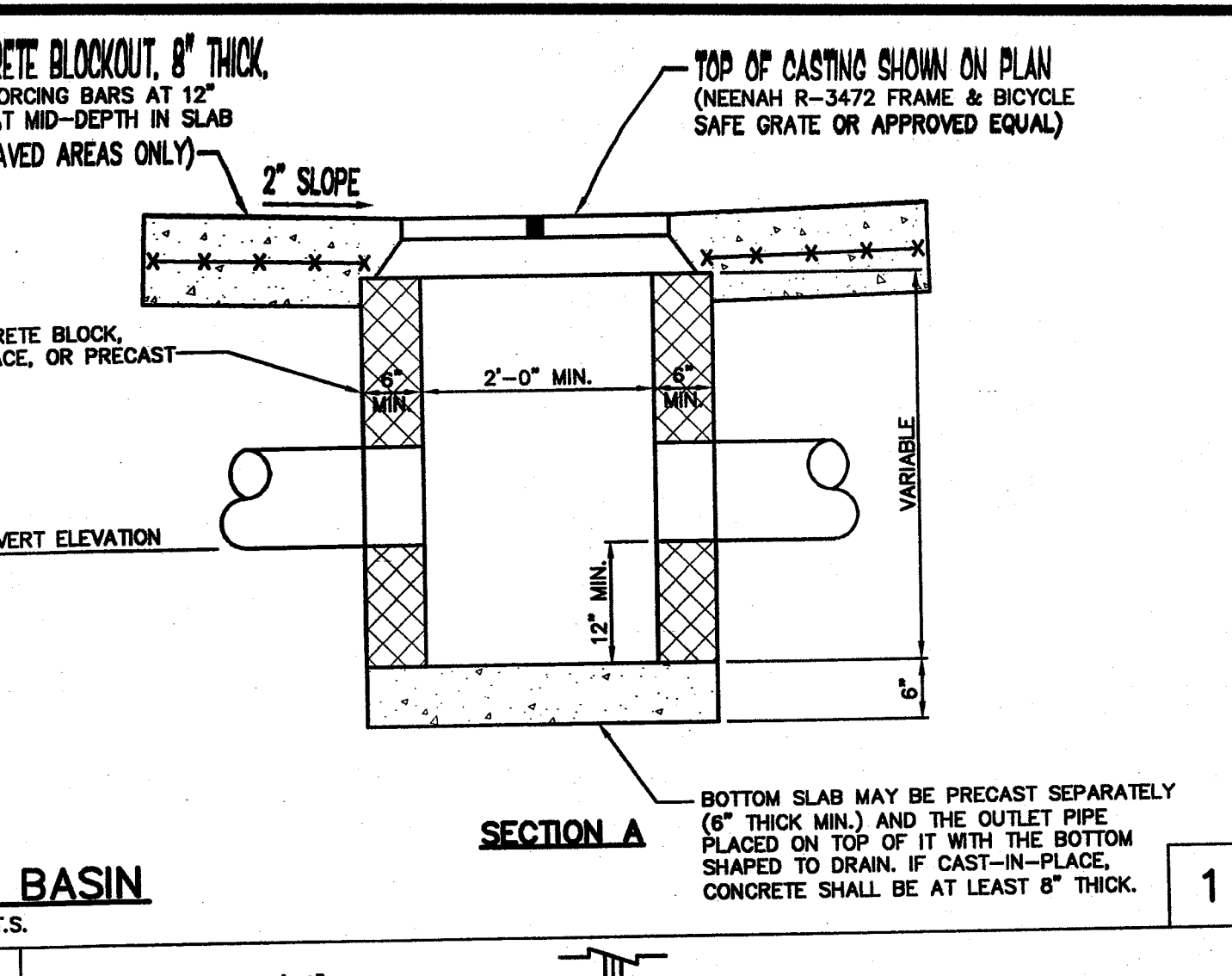
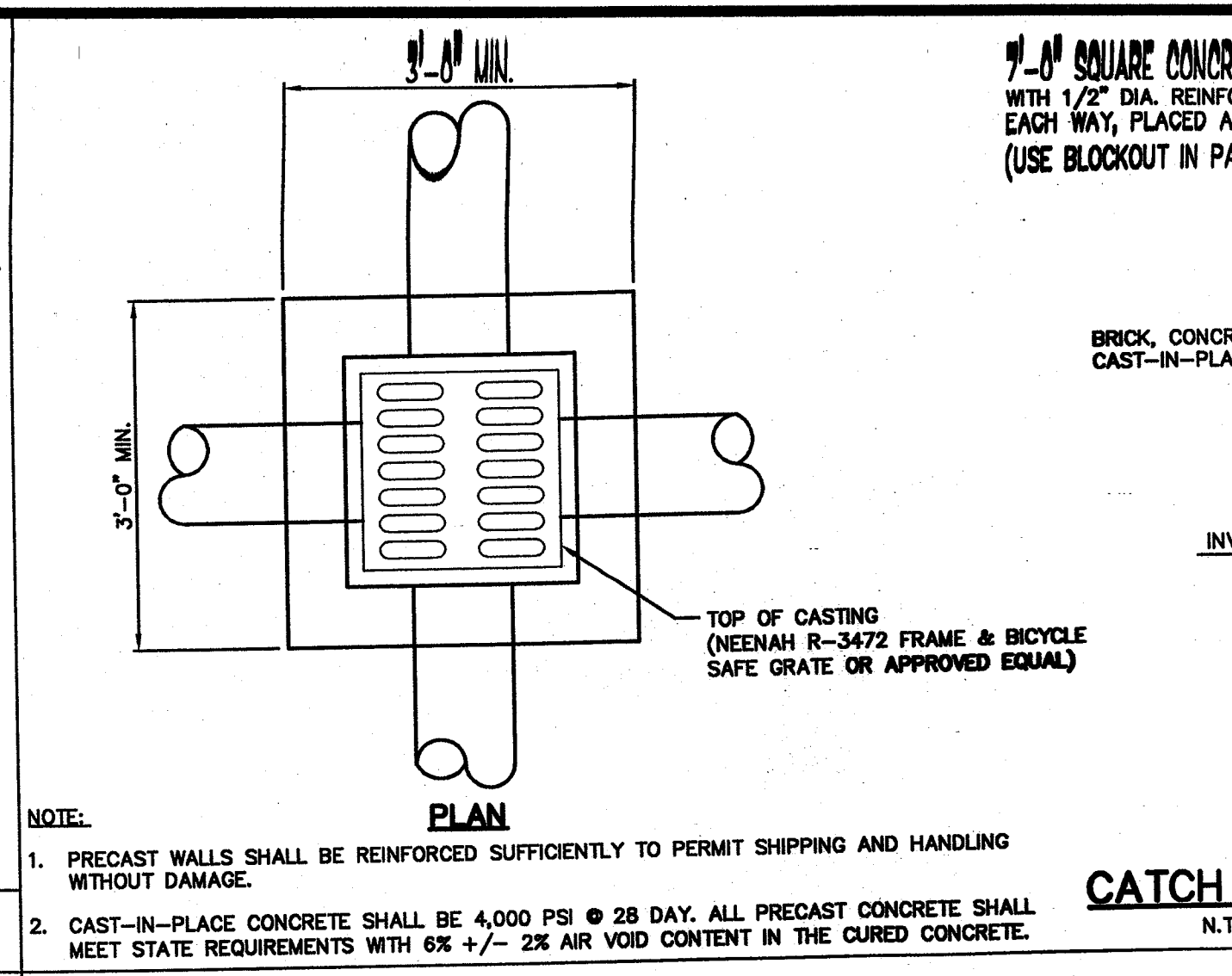
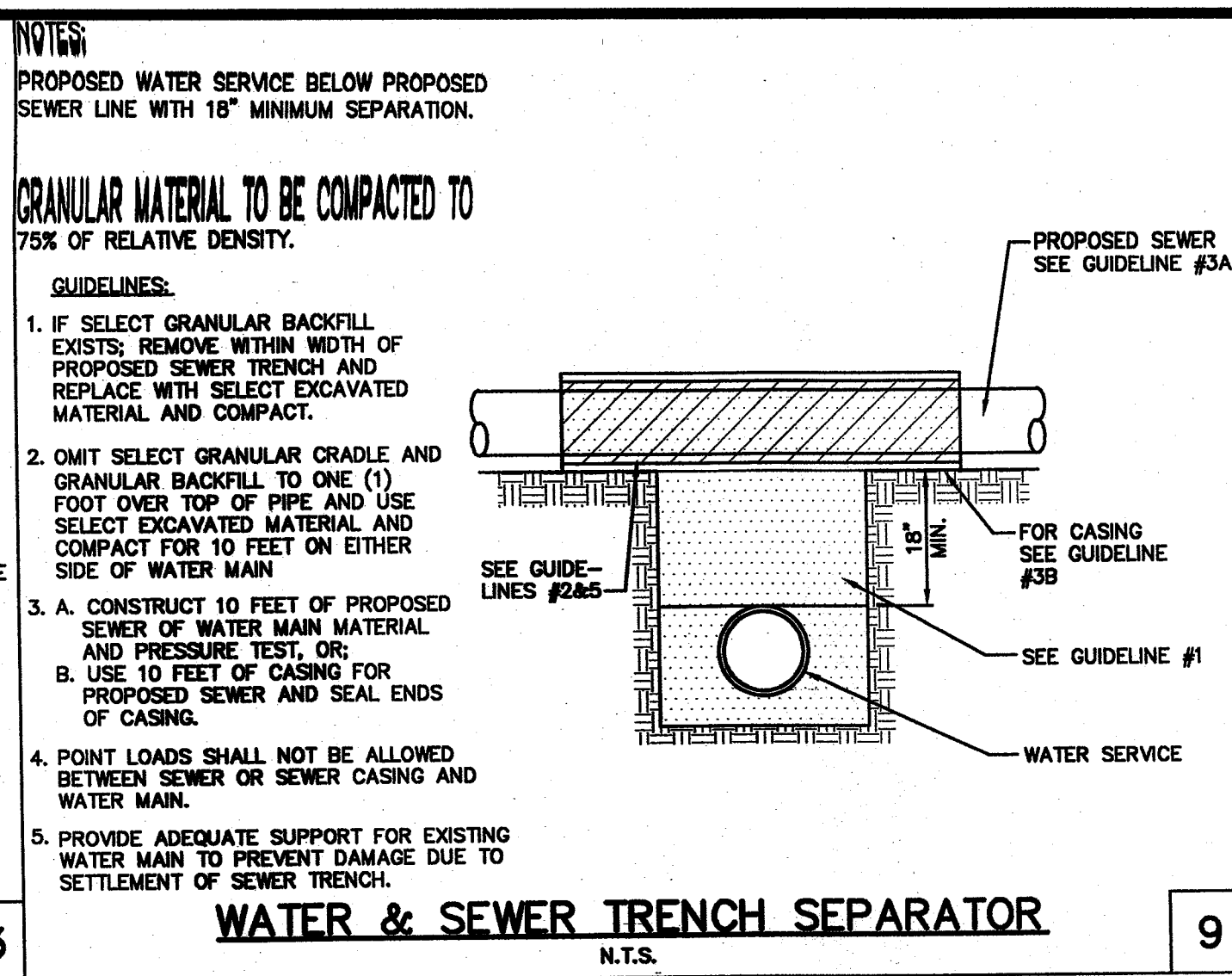
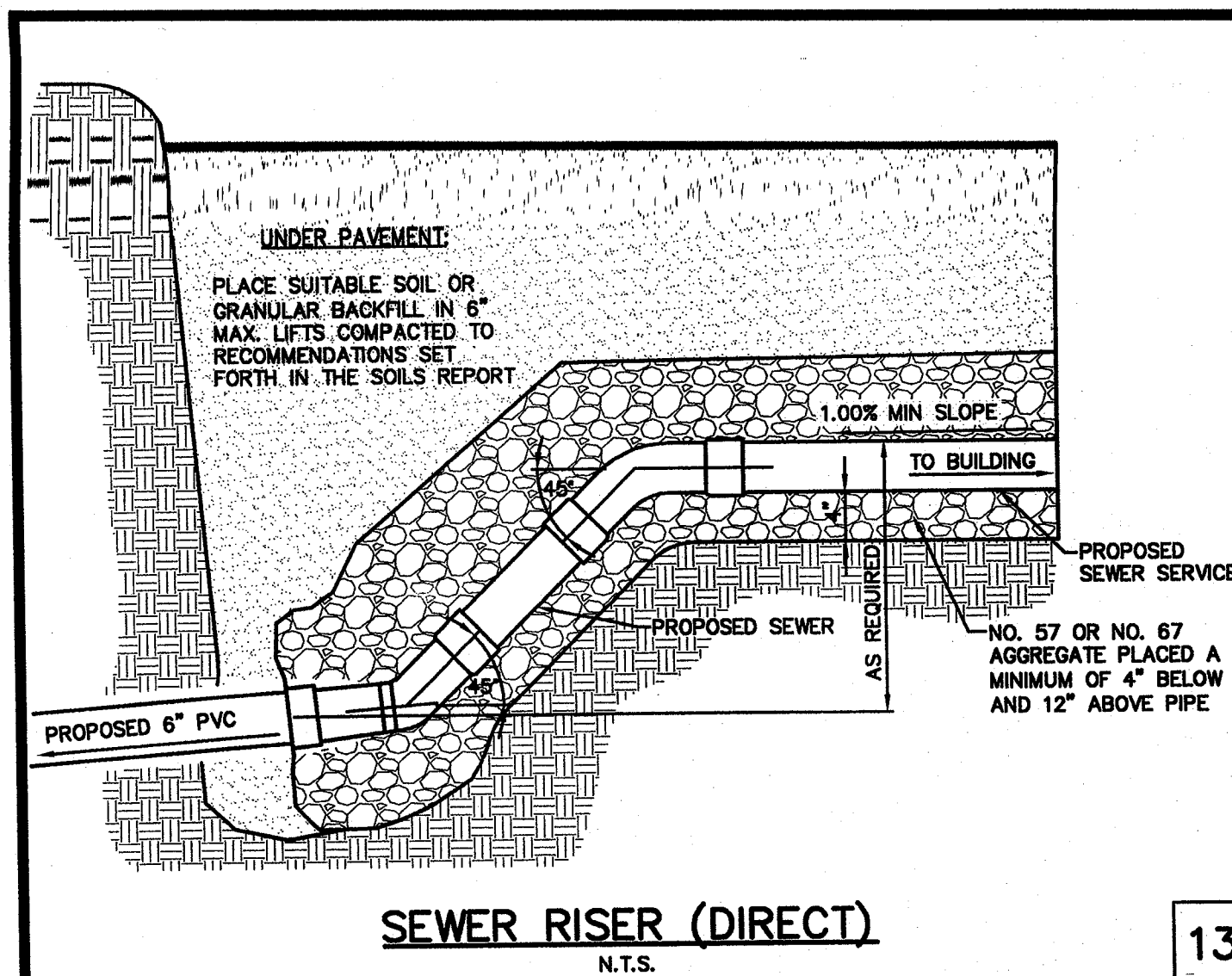
TACO BELL
ERIE ST. SW (OUTLOT #3)
MASSILLON, OH 44646

TACO BELL
T-Y07

DETAILS

C-502

PLOT DATE:



CLAUS PYLE SCHOMER BURNS & DEHAVEN INC.
GPD ASSOCIATES
 520 South Main Street, Suite 231 Akron, Ohio 44311
 330-572-2100 / Fax 330-572-2101

STATE OF OHIO
 DAVID B. GRANGER
 42103
 PROFESSIONAL ENGINEER

CONTRACT DATE: 01.04.10
 BUILDING TYPE: T-Y07
 PLAN VERSION: T-Y07
 SITE NUMBER: 386221/307193
 STORE NUMBER: 2009088.29

TACO BELL
 ERIC ST. SW (OUTLOT #3)
 MASSILLON, OH 44646

T-Y07

DETAILS

C-503

PLOT DATE:



LANDSCAPE NOTES & PLANTING SPECIFICATIONS

SCOPE OF WORK

1. THIS WORK SHALL CONSIST OF PERFORMING CLEARING AND GRUBBING, SOIL PREPARATION, FINISH GRADING, PLANTING AND DRAINAGE, INCLUDING ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT.
2. QUANTITY TAKEOFF IS SUPPLIED FOR CONTRACTOR'S ASSISTANCE ONLY. CONTRACTOR IS RESPONSIBLE FOR SUPPLYING ALL PLANT MATERIALS AS PER PLAN.
3. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR WITHIN EASEMENT OR RIGHT-OF-WAY LIMITS.

PRESERVATION/PROTECTION (IF APPLICABLE)

1. CONTRACTOR SHALL MAINTAIN AND PRESERVE TREES AND SHRUBS NOT BEING REMOVED, INCLUDING THEIR ROOTS. TREE PROTECTION FENCING SHALL BE USED AT THE DRIP LINE OF ALL TREES AND SHRUBS WITHIN 50 FEET OF CONSTRUCTION EXCEPT AS SHOWN ON PLAN. FENCING SHALL REMAIN IN PLACE UNTIL FINAL PLANT INSPECTION FOLLOWING CONSTRUCTION. MATERIALS SHALL NOT BE STOCKPILED WITHIN THIS DEFINED AREA AND VEHICLES AND OTHER EQUIPMENT SHALL BE OPERATED TO AVOID SOIL COMPACTION.
2. FEEDER ROOTS SHOULD NOT BE CUT IN AN AREA EQUAL TO TWICE THE TREE CIRCUMFERENCE (MEASURED 6" ABOVE THE GROUND LINE IN INCHES) EXPRESSED IN FEET. (EXAMPLE: A CIRCUMFERENCE OF 10" WOULD HAVE A "NO CUT" ZONE OF 20 FEET IN ALL DIRECTIONS FROM THE TREE). THIS SHOULD APPLY TO UTILITY SERVICES, IF FEASIBLE. THE ONLY EXCEPTION TO THIS REQUIREMENT WILL BE THOSE SPECIFICALLY ALLOWED BY THE LANDSCAPE ARCHITECT, SPECIFICATIONS OR AS INDICATION ON THE PLANS.
3. TREE TRUNKS AND EXPOSED ROOTS DAMAGED DURING EQUIPMENT OPERATIONS SHALL BE TREATED IN ACCORDANCE WITH THE ARBOR CULTURAL STANDARDS OF THE CITY.

PLANT MATERIALS

1. GENERAL - ALL MATERIALS SHALL BE OF ITS KIND AVAILABLE AND SHALL HAVE BEEN GROWN IN A CLIMATE SIMILAR TO THAT ON SITE.
2. PLANTS - ALL PLANTS SHALL BE HEALTHY, OF NORMAL GROWTH, WELL ROOTED, FREE FROM DISEASE AND INSECTS. QUALITY AND SIZE OF PLANT MATERIAL SHALL CONFORM TO ANSI Z60.1 "AMERICAN STANDARDS FOR NURSERY STOCK".
3. VARIETIES AND SIZES OF PLANTS SHALL BE AS SHOWN ON DRAWINGS.
4. PLANTS SHALL BE IN A HEALTHY, VIGOROUS CONDITION, FREE OF DEAD OR BROKEN BRANCHES, SCARS THAT ARE NOT COMPLETELY HEALED, FROST CRACKS, DISTURBING KNOTS, BROKEN OR ABRADED BARK, REDUNDANT LEADERS OR BRANCHES, OR ABERRATIONS OF ANY KIND. PLANTS SHALL NOT HAVE MULTIPLE LEADERS, UNLESS THIS IS THE NATURAL FORM.
5. BALLED AND BURLAPPED (B&B) PLANTS SHALL BE DUG WITH A FIRM ROOT BALL OF NATURAL EARTH, OF A SIZE IN PROPORTION TO THE PLANT'S SIZE, AS MEASURED BY CALIPER, HEIGHT, OR SPREAD. BALLED AND BURLAPPED PLANTS SHALL BE HANDLED ONLY BY THE ROOT BALL, NOT BY THE TRUNK OR BRANCHES. AS THIS MAY BREAK OR LOOSEN THE ROOT BALL AND DAMAGE THE ROOT SYSTEM. CONTAINER PLANTS SHALL HAVE BEEN ESTABLISHED FOR A MINIMUM OF ONE FULL GROWING SEASON IN THEIR CONTAINERS BEFORE INSTALLATION. CONTAINER PLANTS SHALL BE HANDLED ONLY BY THE CONTAINER, NOT BY THE STEMS OR BRANCHES. AS THIS MAY PULL THE PLANT OUT OF THE CONTAINER AND BREAK OR LOOSEN THE ROOT BALL AND DAMAGE THE ROOT SYSTEM. BARE-ROOT SHRUBS AND GROUND COVER PLANTS ARE ACCEPTABLE, IF THEY ARE DUG AND INSTALLED AT THE APPROPRIATE SEASON AND HANDLED IN THE APPROPRIATE MANNER.
6. PLANTS SHALL BE PROTECTED FROM DRYING OUT DURING SHIPPING WITH TARPULAINS OR OTHER COVERINGS. PLANTS SHALL BE PROTECTED FROM DRYING OUT AFTER DELIVERY BY PLANTING IMMEDIATELY, IF THIS IS NOT POSSIBLE, THE ROOT BALL SHALL BE COVERED WITH PEAT MOSS OR EARTH, AND WATERED FREQUENTLY TO KEEP IT MOIST UNTIL PLANTING.
7. DO NOT HANDLE, MOVE, BIND, TIE OR OTHERWISE TREAT PLANTS SO AS TO DAMAGE THE ROOT BALL, ROOTS, TRUNK, OR BRANCHES IN ANY WAY.

TOPSOIL

1. TOPSOIL HAS BEEN (OR WILL BE) STOCKPILED FOR REUSE IN LANDSCAPE WORK. IF QUANTITY OF STOCKPILED TOPSOIL IS INSUFFICIENT, PROVIDE ADDITIONAL TOPSOIL AS REQUIRED TO COMPLETE LANDSCAPE WORK. IMPORTED TOPSOIL SHALL CONSIST OF LOOSE, FRIABLE, LOAMY TOPSOIL WITHOUT ADMIXTURE OF SUBSOIL OR REFUSE. ACCEPTABLE TOPSOIL SHALL CONTAIN NOT LESS THAN 3 PERCENT NOR MORE THAN 20 PERCENT ORGANIC MATTER.
2. PLANTING BACKFILL FOR PARKING LOT ISLANDS SHALL CONSIST OF A HOMOGENEOUS MIXTURE OF 3 PARTS TOPSOIL TO ONE PART SPHAGNUM PEAT INSTALLED OVER A 6" THICKNESS OF NO. 57 AGGREGATE.

SOIL CONDITIONING

1. OBTAIN LABORATORY ANALYSIS OF STOCKPILED AND IMPORTED TOPSOIL COMPLETE WITH RECOMMENDATIONS FOR SOIL AMENDMENT.
2. BEFORE MIXING, CLEAN TOPSOIL OF ROOTS, PLANTS, SOD, STONES, CLAY LUMPS, AND OTHER EXTRANEEOUS MATERIALS HARMFUL OR TOXIC TO PLANT GROWTH.
3. MIX SPECIFIED SOIL AMENDMENTS AND FERTILIZERS WITH TOPSOIL AT RATES SPECIFIED BY THE LAB REPORT. DELAY MIXING OF FERTILIZER IF PLANTING WILL NOT FOLLOW PLACING OF PLANTING SOIL WITHIN A FEW DAYS.
4. FOR PLANTING BEDS AND LAWNS, MIX PLANTING SOIL EITHER PRIOR TO PLANTING OR APPLY ON SURFACE OF TOPSOIL AND MIX THOROUGHLY BEFORE PLANTING. MIX LIME WITH DRY SOIL PRIOR TO MIXING OF FERTILIZER.
5. PREVENT LIME FROM CONTACTING ROOTS OF ACID-LOVING PLANTS.
6. APPLY PHOSPHORIC ACID FERTILIZER (OTHER THAN THAT CONSTITUTING A PORTION OF COMPLETE FERTILIZERS) DIRECTLY TO SUBGRADE BEFORE APPLYING PLANTING SOIL AND TILLING.

OTHER MATERIALS

1. BED EDGING - TRENCH AROUND LANDSCAPE BEDS TO CREATE SHARP, 45 DEGREE EDGE. TYPICAL AT ALL PLANTING BED EDGES WHERE THEY MEET LAWNS.
2. MULCH: ALL DISTURBED AREAS NOT DENOTED AS LAWN AREAS SHALL BE MULCHED WITH PENN RED NUMBER 7 STONE.
3. WEED BARRIER - POLYETHYLENE FILTER FABRIC DESIGNED TO PERMIT WATER INFILTRATION WHILE PREVENTING WEED GROWTH-TO BE INSTALLED IN ALL PLANTING BEDS.

GENERAL WORK PROCEDURES

1. LANDSCAPE WORK SHALL BE ACCORDING TO THE WORKMANLIKE STANDARDS ESTABLISHED FOR LANDSCAPE CONSTRUCTION AND PLANTING IN THE OHIO STANDARDIZED LANDSCAPE SPECIFICATIONS (ASLA) AND ANY LOCAL LANDSCAPE ORDINANCES.
2. CONTRACTOR SHALL OBTAIN A COPY OF LOCAL ORDINANCES REGARDING ACCEPTABLE PLANT AND PLANTING DETAILS AND ABIDE BY THOSE ORDINANCES AND DETAILS.
3. ENGINEER RESERVES THE RIGHT TO REJECT ALL PLANT MATERIAL DEEMED NOT ACCEPTABLE.
4. ANY PROPOSED PLANT SUBSTITUTIONS SHALL BE EQUIVALENT IN FORM, HABIT, STRUCTURE, BRANCHING AND LEAF TYPE AND MUST BE ISSUED TO THE LANDSCAPE ARCHITECT FOR APPROVAL, IN WRITING, PRIOR TO INSTALLATION.

WEEDING

1. BEFORE AND DURING PRELIMINARY GRADING AND FINISH GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF AT THE CONTRACTOR'S EXPENSE.

PLANTING

1. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE OWNER BEFORE EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.
2. PLANTING PITS SHALL BE AS PER DETAILS.
3. PREPARED SOIL SHALL BE TAMPED FIRMLY AT BOTTOM OF PIT. FILL PREPARED SOIL AROUND BALL OF PLANT. COMPLETE BACKFILLING AND WATER THOROUGHLY.
4. PREPARE RAISED EARTH BASIN AS WIDE AS PLANTING HOLE OF EACH PLANT.
5. WATER IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED.
6. INSTALL BED EDGING AND MULCH.
7. REMOVE ALL SALES TAGS, STRINGS, STRAPS, WIRE, ROPE OR OTHER MATERIALS THAT MAY INHIBIT PLANT GROWTH BOTH ABOVE AND BELOW THE SURFACE OF THE SOIL.
8. REMOVE ANY BROKEN, SUCKERING, DISEASED, CRISSCROSSED OR AESTHETICALLY DISPLEASING BRANCHES BACK TO LIVE LEADER OR SIDE LATERAL WITH A FLUSH CUT.
9. MULCH TREES AND SHRUBS AND OTHER AREAS NOTED ON THE PLANTING PLAN WITH A 3" LAYER OF MULCH AS SPECIFIED IN NOTE 2 OF "OTHER MATERIALS".

FINISH GRADING

1. ALL AREAS WILL BE GRADED BY THE CONTRACTOR TO SUBSTANTIALLY PLUS/MINUS 0.1 FOOT OF FINISH GRADE.
2. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN, UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE. SOIL AREAS ADJACENT TO THE BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS.
3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER.
4. PARKING LOT ISLAND SHALL BE BACKFILLED AS PART OF THIS CONTRACT.

GROUND COVER

1. SPACING AND VARIETY OF GROUND COVER SHALL BE AS SHOWN ON DRAWINGS.
2. MULCH GROUND COVER WITH 2" THICKNESS OF SPHAGNUM PEAT.
3. IMMEDIATELY AFTER PLANTING GROUND COVER, CONTRACTOR SHALL THOROUGHLY WATER GROUND COVER.
4. ALL GROUND COVER AREAS SHALL BE TREATED WITH A PRE-EMERGENT BEFORE FINAL LANDSCAPE INSPECTION. GROUND COVER AREAS SHALL BE WEEDED PRIOR TO APPLYING PRE-EMERGENT. PRE-EMERGENT TO BE APPLIED AS PER MANUFACTURER'S RECOMMENDATION.

GUARANTEE

1. CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF PROJECT ACCEPTANCE BY THE OWNER.

IRRIGATION

1. CONTRACTOR SHALL PROVIDE & INSTALL AN IRRIGATION SYSTEM TO PROVIDE 100% COVERAGE OF THE SITE. AREAS WITHIN 5 FEET OF BUILDING WALLS SHALL BE IRRIGATED BY DRIP IRRIGATION OR SIMILAR. CONTRACTOR SHALL ENSURE BUILDING WALLS AND WINDOWS WILL NOT BE DAMAGED OR STAINED BY IMPROPER IRRIGATION INSTALLATION OR POOR SELECTION OF FIXTURES. SYSTEM SHALL INCLUDE ALL APPURTENANCES & BE APPROVED BY OWNER.
2. IRRIGATION CONTRACTOR SHALL PROVIDE A METHOD FOR WINTERIZATION. WINTERIZATION SHALL BE PERFORMED BY CONTRACTOR UPON COMPLETION IF SYSTEM IS INSTALLED BETWEEN NOVEMBER 1 AND MARCH 31.

CLEANUP

1. UPON THE COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. AN "ACCEPTABLE CONDITION" SHALL BE AS DEFINED AND APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

MAINTENANCE

(MAINTENANCE PERIOD TO COMMENCE AFTER FINAL INSPECTION.)

1. MAINTENANCE PERIOD FOR THIS CONTRACT SHALL BE 90 CALENDAR DAYS COMMENCING AFTER FINAL INSPECTION OF CONSTRUCTION.
2. MAINTAIN TREES, SHRUBS AND OTHER PLANTS BY PRUNING, CULTIVATING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS. RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED.
3. MAINTAIN LAWNS BY WATERING, MOWING, TRIMMING, AND OTHER OPERATIONS SUCH AS ROLLING, REGRADING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.
4. MAINTAIN THE LANDSCAPING BY KEEPING ALL PLANTS DISEASE-FREE AND PLANTING BEDS GROOMED, EXCEPT IN NATURALLY OCCURRING VEGETATION AREAS.
5. REPLACE ANY REQUIRED PLANTING(S), WHICH SEVERELY DECLINE OR DIE AFTER THE DATE OF PLANTING. SUCH REPLACEMENT SHALL OCCUR DURING THE NEXT APPROPRIATE PLANTING SEASON.

SEEDING

1. GRASS SEED SHALL BE FRESH, CLEAN, DRY, NEW-CROP SEED COMPLYING WITH THE ASSOCIATION OF OFFICIAL SEED ANALYSTS' "RULES FOR TESTING SEEDS" FOR PURITY AND GERMINATION TOLERANCES.
2. ALL AREAS TO BE SEEDED SHALL RECEIVE NO LESS THAN FIVE POUNDS OF SEED PER ONE THOUSAND SQUARE FEET. APPLY SEED AND PROTECT WITH STRAW MULCH AS REQUIRED FOR NEW LAWNS. GRASS SEED MIX SHALL CONSIST OF THE FOLLOWING:

PROPORTION	NAME	MIN.% GERM.	MIN.% PURE SEED	MAX.% WEED SEED
30%	KENTUCKY BLUEGRASS (POA PRATENSIS)	80	85	0.50
30%	CREeping RED FESCUE (FESTUCA RUBRA)	85	98	0.50
20%	PERENNIAL RYE GRASS (LOLIUM PERENNE)	90	98	0.50
20%	ANNUAL RYEGRASS (LOLIUM MULTIFLORUM)	85	92	1.00

SODDING

1. SOD SHALL BE FIRST GRADE CERTIFIED KENTUCKY BLUEGRASS BLEND CONTAINING NOT MORE THAN 30 PERCENT OF OTHER GRASSES AND CLOVERS, AND FREE FROM ALL NOXIOUS WEEDS. SOD SHALL BE RECENTLY MOWED TO A HEIGHT OF NOT LESS THAN 3 INCHES. IT SHALL BE CUT INTO STRIPS OF NOT LESS THAN 3 FEET AND NOT OVER 6 FT. WITH A UNIFORM WIDTH OF NOT OVER 24 INCHES. THE SOD SHALL BE CUT TO A DEPTH EQUAL TO THE GROWTH OF THE FIBROUS ROOTS BUT IN NO CASE LESS THAN 1 INCH. SOD SHALL BE DELIVERED TO THE JOB WITHIN 24 HOURS AFTER BEING CUT AND SHALL BE INSTALLED WITHIN 48 HOURS AFTER BEING CUT. BEFORE SOD IS PLACED, THE SOD BED WILL HAVE BEEN EXCAVATED TO SUCH A DEPTH THAT WHEN THE SOD IS IN PLACE THE TOP OF THE SOD WILL BE FLUSH WITH THE SURROUNDING GRADE. NO SOD SHALL BE PLACED WHEN THE TEMPERATURE IS BELOW 32 DEGREES F. NO FROZEN SOD SHALL BE PLACED NOR SHALL ANY SOD BE PLACED ON FROZEN SOIL. WHEN SOD IS PLACED BETWEEN THE DATES OF JUNE 1ST AND OCTOBER 15th, IT SHALL BE COVERED IMMEDIATELY WITH A STRAW MULCH 1 INCH THICK (LOOSE MEASUREMENT). AFTER LAYING, THE SOD SHALL BE WATERED THOROUGHLY AND TAMPED WITH APPROVED SOD TAMPERS SUFFICIENTLY TO BRING THE SOD INTO CLOSE CONTACT WITH THE SOD BED AND INSURE TIGHT JOINTS BETWEEN THE SECTIONS OR STRIPS. THE CONTRACTOR SHALL KEEP ALL SODDED AREAS INCLUDING SUBGRADE, THOROUGHLY MOIST FOR 30 DAYS AFTER SODDING. THE CONTRACTOR SHALL REPAIR ANY AREAS DAMAGED FOLLOWING INSTALLATION AS DIRECTED BY THE ENGINEER. SOD SHALL BE IN PLACE AT LEAST 30 DAYS BEFORE FINAL ACCEPTANCE.

PLANTING SCHEDULE

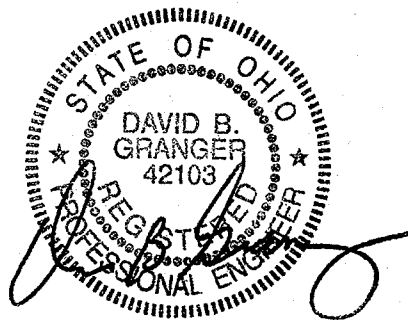
1. ALL PLANTING IS RECOMMENDED TO BE DONE WITHIN THE FOLLOWING DATES. WHEN PLANTING OUTSIDE THESE DATES, WRITTEN DOCUMENTATION SHALL BE PROVIDED THAT SURVIVAL OR REPLACEMENT WILL BE ENSURED. NO PLANTING SHALL BE DONE IN FROZEN SOIL.

NORMAL PLANTING SEASONS	SPRING	FALL
ALL TREES AND SHRUBS	MARCH 15-MAY 15	OCTOBER 1-DECEMBER 1
EVERGREENS	APRIL 1-MAY 15	OCTOBER 1-NOVEMBER 15
GROUNDCOVERS	APRIL 1-JUNE1	WHEN SOD IS WORKABLE
SEED AND MULCH	APRIL 1-MAY 15	OCTOBER 1-NOVEMBER 15

GENERAL NOTE

1. ALL AREAS DISTURBED BY CONSTRUCTION THAT ARE WITHIN THE RIGHT-OF-WAY SHALL BE FINE GRADED TO MAINTAIN POSITIVE DRAINAGE, HAVE A 6" LAYER OF TOPSOIL APPLIED AND BE SEEDED ACCORDING TO SPECIFICATIONS ON THIS SHEET.

CLAUS PYLE SCHOMER BURNS & DEHAVEN INC.
GPD ASSOCIATES
520 South Main Street, Suite 2531 Akron, Ohio 44311
330-572-2100 / Fax 330-572-2101



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CONTRACT DATE: 01.04.10
BUILDING TYPE: T-Y07
PLAN VERSION: T-Y07
SITE NUMBER: 386221/307193
STORE NUMBER: 2009088.29

TACO BELL

ERIE ST. SW (OUTLOT #3)
MASSILLON, OH 44646

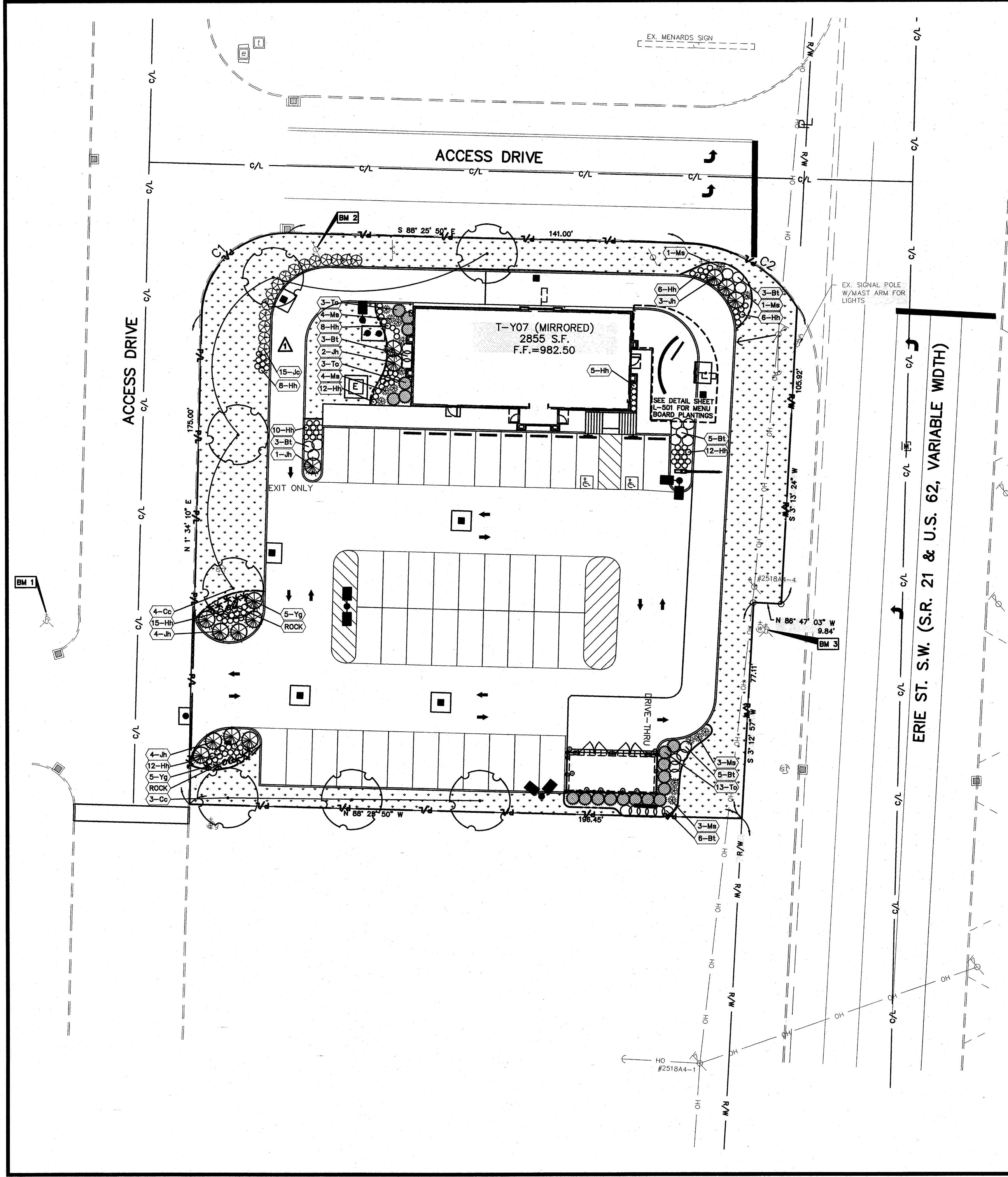


T-Y07

LANDSCAPE
SPECIFICATIONS

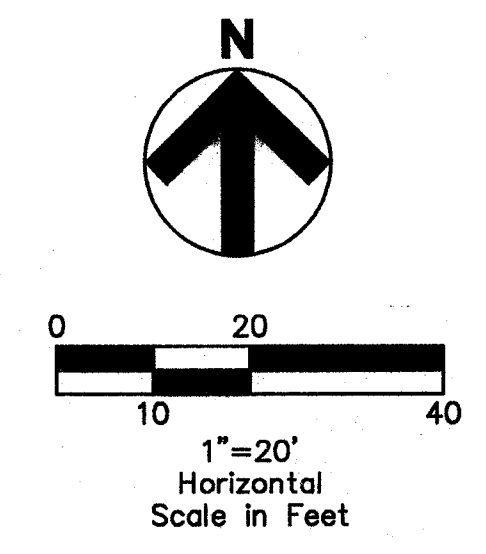
L-001

PLOT DATE:



LEGEND
(SEE SHEET C-001 FOR GENERAL LEGEND)

PLANT QUANTITY AND SYMBOL
TRENCHED EDGE
TREE/SHRUB
SOD AREA



PLANT LIST						
Symbol	Botanical Name	Common Name	Qty.	Size	Condition	Remarks
Bt	Berberis thunbergii 'Atropurpurea'	Red Barberry	25	No. 5	Cont.	4' o/c
Cc	Cercis canadensis	Redbud	7	2" cal.	B&B	Specimen
Hh	Hemerocallis Stella D'Oro	Stella D'Oro Daylily	89	No. 1	Cont.	18" o/c
Jc	Juniperus chinensis 'Old Gold'	Old Gold Juniper	15	No. 3	Cont.	4' o/c
Jh	Juniperus horizontalis 'Blue Chip'	Blue Chip Juniper	14	No. 3	Cont.	6' o/c
Ms	Miscanthus sinensis 'Purpurascens'	Flame Maiden Grass	16	No. 2	Cont.	30" o/c
To	Thuja occidentalis 'Techny'	Mission Arborvitae	19	4' H	B&B	5' o/c
Yg	Yucca glauca	Soapweed Yucca	10	No. 5	Cont.	5' o/c
ROCK: Install 2-3 Boulders of varying sizes, 18" min. diameter. 1/2 of each boulder to be buried.						

Underground Utilities

2 Working Days
Before You Dig
Call 800-362-2764 (Toll Free)
Ohio Utilities Protection Service

Non-members
Must Be Called Directly

Call 800-925-0988 (Toll Free)
Oil & Gas Producers Utility Protection Service

BENCHMARKS:

BASIS OF BEARING IS STATE PLANE GRID NORTH, NAD 83(1986), OHIO NORTH ZONE. ELEVATIONS ARE NAVD 88. TIED TO STARK COUNTY SURVEY CONTROL "PER121"

BENCHMARK #1 - "O" IN WORD OPEN ON TOP OF FIRE HYDRANT AT NORTH ENTRANCE TO MENARDS PARKING LOT. ELEVATION = 980.76

BENCHMARK #2 - SW ANCHOR BOLT ON LIGHT POLE AT NW CORNER OF SITE. ELEVATION = 984.67

BENCHMARK #3 - "O" IN WORD OPEN ON TOP OF FIRE HYDRANT AT THE SE CORNER OF THE SITE AND ALONG THE WEST RIGHT OF WAY LINE OF ERIE ST. S.W. ELEVATION = 988.61

CLAUS PYLE SCHONER BURNS & DEHAVEN INC.
GPD ASSOCIATES
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330-572-2100, Fax 330-572-2101

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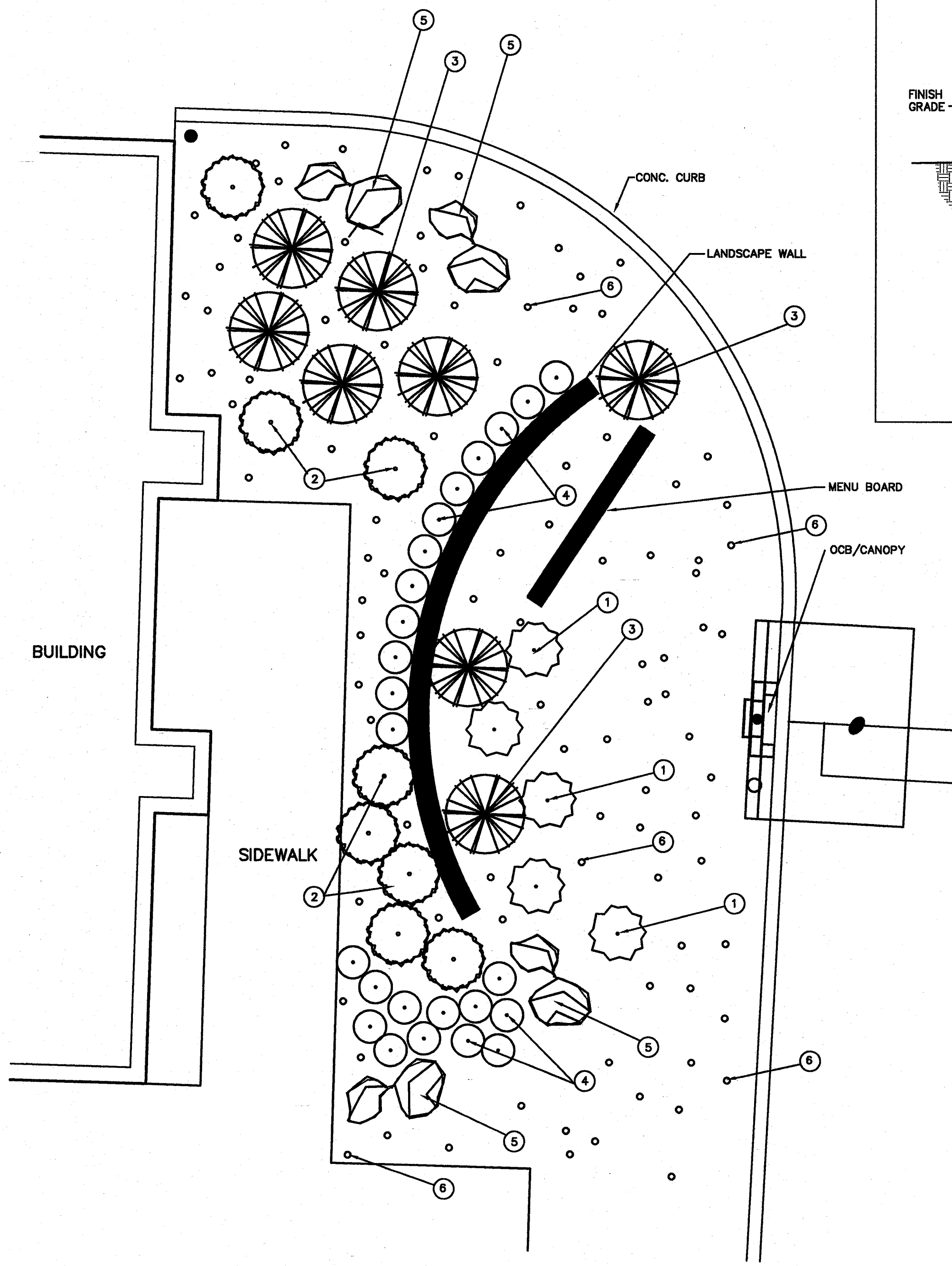
TACO BELL
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T-Y07

LANDSCAPE PLAN

L-101

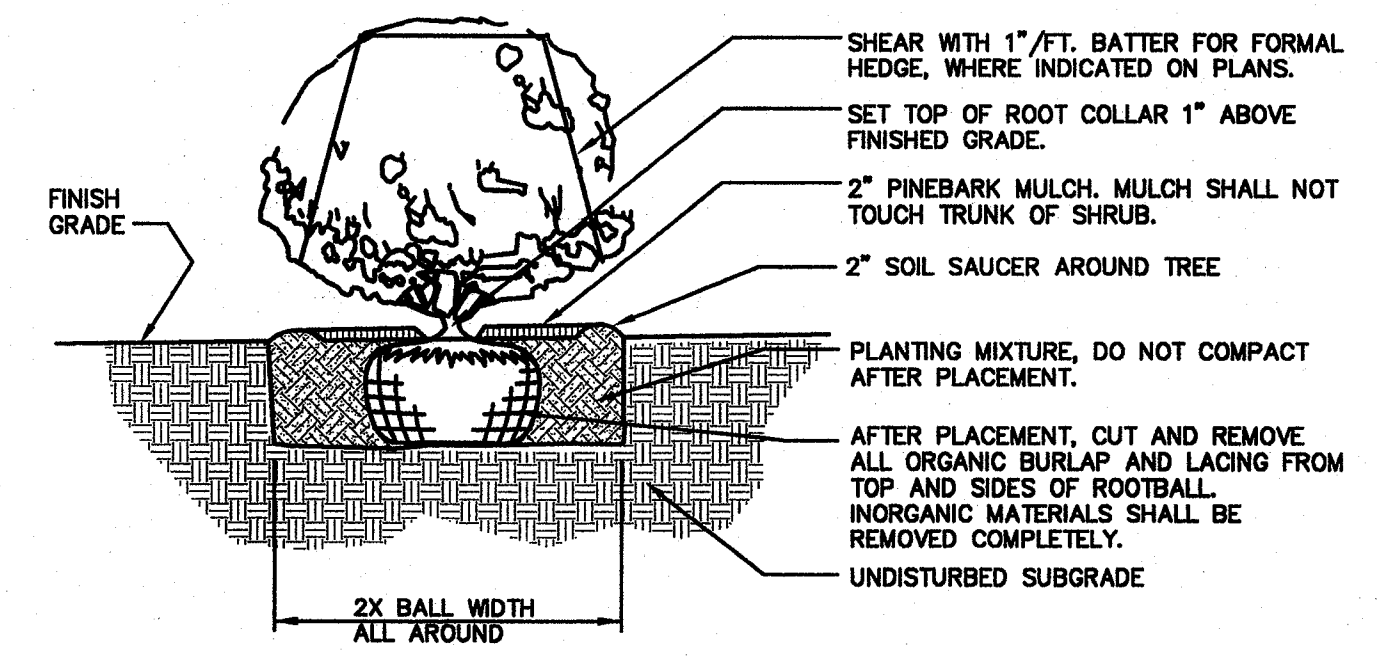
PLOT DATE:



LANDSCAPE @ CURVED CURB

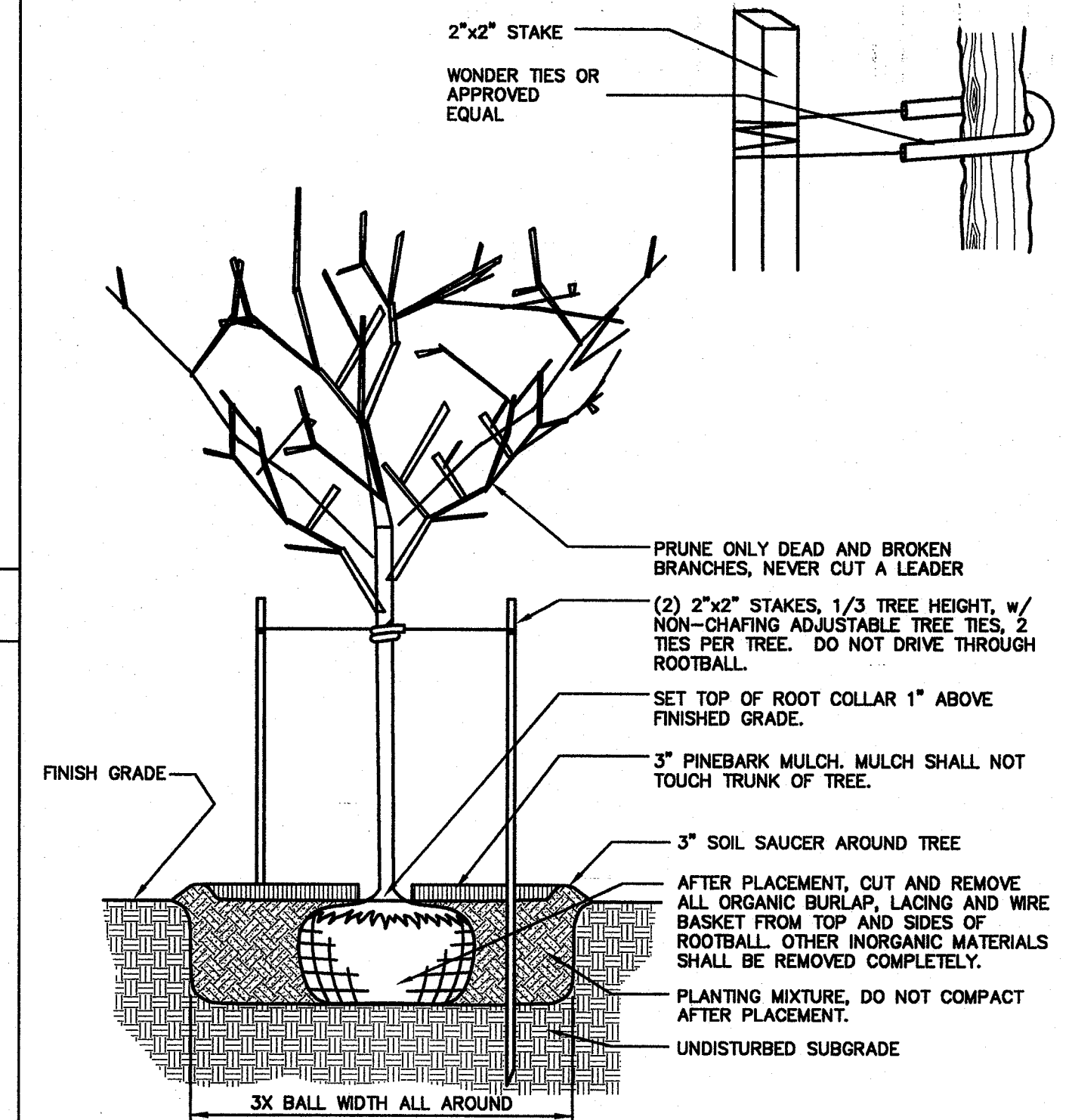
MATERIALS LEGEND	LANDSCAPE NOTES	REGION 5 - MIDWEST			
1 2 3 4 5 6 7	1. GRAVEL MULCH SHALL BE CONTINUOUS TO EDGE OF STEEL BORDER, UNDER ALL PLANTS, CONCRETE CURB AND SCREEN WALL. PROVIDE WEED BARRIER UNDER GRAVEL MULCH. 2. PROVIDE A INDUSTRY STANDARD DRIP IRRIGATION SYSTEM APPROPRIATE FOR THE SELECTED REGION AND PLANTING TYPES. 3. PLANTS SHALL BE PLANTED PER REGIONAL BEST PRACTICES INCLUDING BUT NOT LIMITED TO SUPPORT, DEPTH/WIDTH OF PLANTING HOLE AND SOIL AMENDMENTS. 4. SEE SHEET C-504 FOR ADDITIONAL BRANDED SITE DETAILS INCLUDING THE MENU BOARD, SCREEN WALL AND OCB/CANOPY.	1	BLUE FESCUE FESTUCA GLAUCA	PER PLAN	3 GAL.
		2	JAPANESE BARBERRY BERBERIS THUNBERGII	PER PLAN	3 GAL.
		3	SOAPWEED YUCCA GLAUCA	PER PLAN	5 GAL.
		4	CHINESE JUNIPER JUNIPERUS 'SARGENTII'	PER PLAN	5 GAL.
		5	RED GRANITE BOLDER -6" TO 24"	PER PLAN	6"-24"
		6	GRAVEL MULCH PENN RED #7 AGGREGATE	PER PLAN	
		7	STEEL EDGING	PER PLAN	N/A

DRIVE THRU OF THE FUTURE LANDSCAPE PLAN
N.T.S.



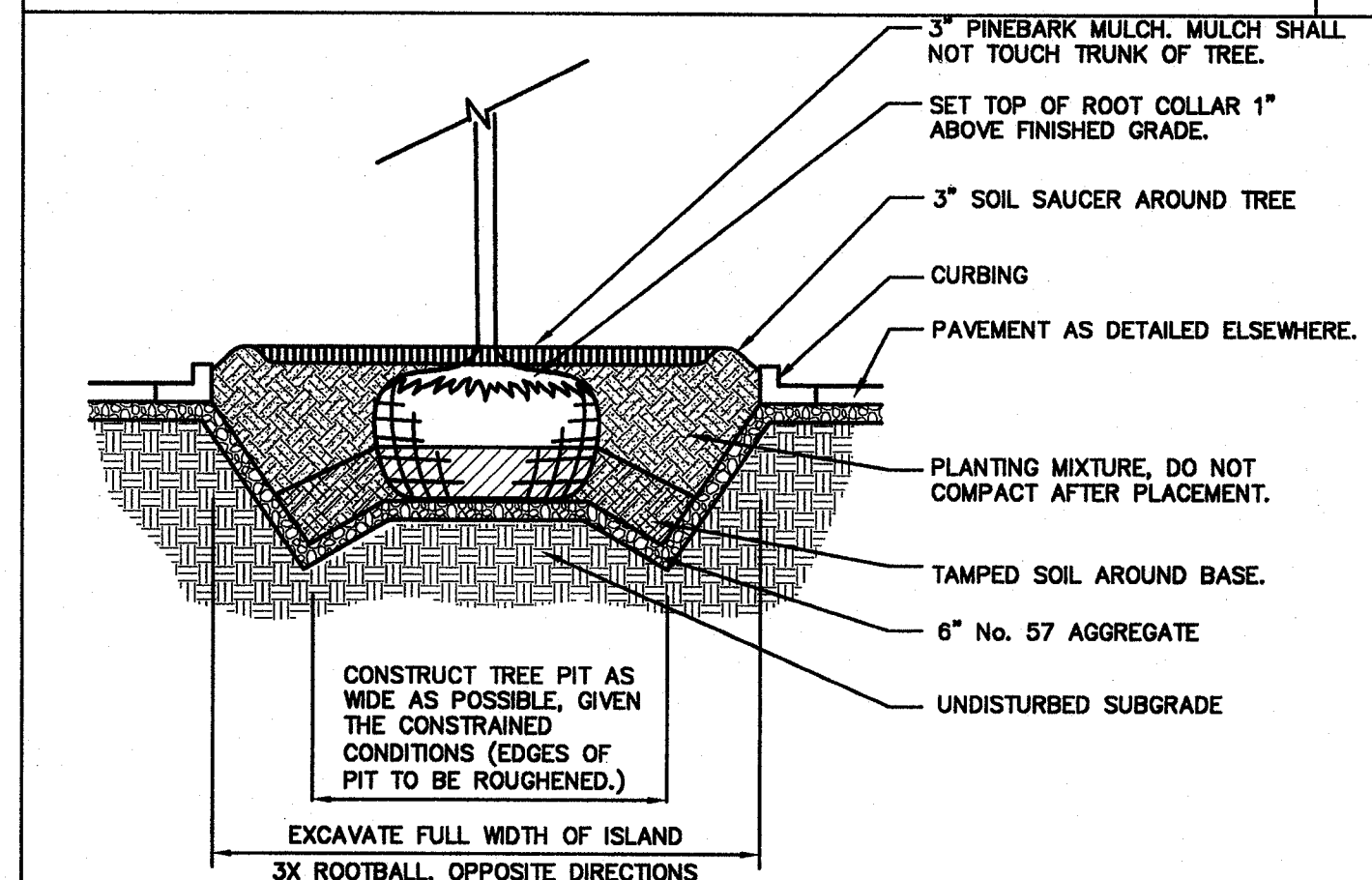
SHRUB PLANTING
N.T.S.

5



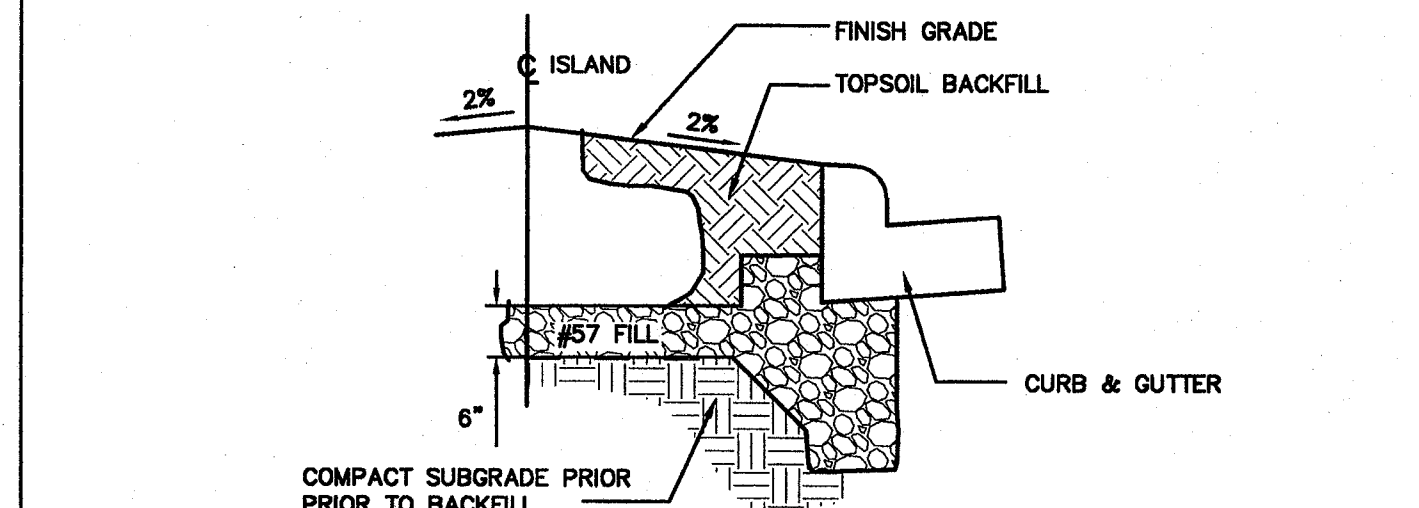
TREE PLANTING AND STAKING
N.T.S.

2



PARKING LOT ISLAND PLANTING
N.T.S.

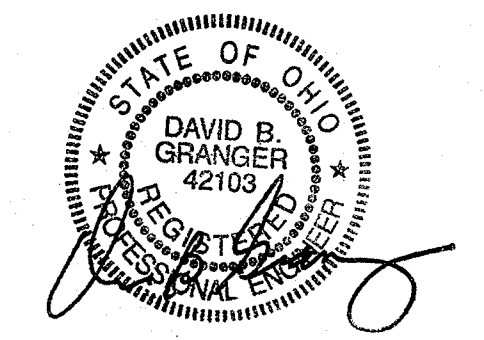
3



PARKING LOT ISLAND BACKFILL
N.T.S.

4

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T-Y07

**LANDSCAPE
DETAILS**

L-501

PLOT DATE: