

# DOLLAR GENERAL - MASSILLON, OH STORE # 15443

## ZONING REQUIREMENTS

### ZONING

B1 - LOCAL BUSINESS DISTRICT

### SETBACKS

BUILDING SETBACKS: FRONT = 25' SIDE = 20' REAR = 20'  
PARKING SETBACKS: FRONT = 6' SIDE = 6' REAR = 6'

### PROPOSED USE

RETAIL STORE

### PARKING

REQUIRED: 46 SPACES  
1 SPACE FOR EVERY 200 SFT OF GROSS FLOOR AREA: 9100 SFT / 200 SFT = 46  
PROVIDED: 46 SPACES  
BARRIER FREE SPACES 2

ALL BARRIER FREE SPACES DESIGNED PER ADA REQUIREMENTS

TYPICAL PARKING SPACE DIMENSION = 9'x20'  
DRIVE AISLE WIDTHS = 45' AND 40'

### BUILDING AREA

THE BUILDING IS SINGLE-STORY (18') WITH A TOTAL AREA OF 9100 SFT. SEE FLOOR PLAN AND ELEVATIONS FOR MORE DETAIL.

### OWNER

MASSILLON DG, LLC  
361 SUMMIT BLVD, SUITE 110  
BIRMINGHAM, AL 35243  
205.968.9220

### LEGAL DESCRIPTION

THE SURVEYED PROPERTY IS THE SAME AS THE PARCEL AS DESCRIBED IN OLD REPUBLIC NATIONAL TITLE INSURANCE CORPORATION COMMITMENT NUMBER 01-13131206-01T, BEARING AN EFFECTIVE DATE OCTOBER 25, 2013.

SITUATED IN THE CITY OF MASSILLON, COUNTY OF STARK, STATE OF OHIO:

KNOWN AS AND BEING OUT LOT 816 IN SAID CITY, ACCORDING TO THE PRESENT NUMBERING OF LOTS THEREIN.

### LEGEND:

- STANDARD-DUTY BITUMINOUS PAVEMENT
- HEAVY-DUTY BITUMINOUS PAVEMENT
- CONCRETE PAVEMENT AND SIDEWALK
- NEW CURB AND GUTTER

### SITE LEGEND

- HMA PAVEMENT
- DUMPSTER ENCLOSURE (SEE DETAIL)
- INTEGRAL SIDEWALK/CURB (SEE DETAIL)
- DELIVERY ACCESS RAMP (SEE DETAIL)
- ADA RAMP (SEE DETAIL)
- CURB STOP (TYP.)
- DETENTION BASIN
- PROPOSED BUILDING SIGN
- PROPOSED PYLON/MONUMENT SIGN

### BENCHMARKS

BM # 1 ELEVATION = 1073.68  
TOP NUT ON HYDRANT

BM # 2 ELEVATION = 1072.40  
TOP NUT ON HYDRANT

### NOTES

- PROVIDE CURB CUTS/RAMPS AT ALL BARRIER FREE ACCESS POINTS.
- PAVEMENT MARKINGS AND SIGNAGE SHALL CONFORM TO THE CURRENT OHIO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND THE AMERICANS WITH DISABILITIES ACT (ADA).
- SIGN DETAILS AND LOCATIONS SHOWN IN CONCEPT ONLY. CONTRACTOR TO PULL SIGN PERMIT AND ENSURE LOCAL SIGN ORDINANCE IS OBSERVED.
- DRIVEWAY LAYOUT AND CONNECTION TO LINCOLN ST. W. (SR-172) AND SHALL COMPLY WITH CITY OF MASSILLON STANDARDS AND ALL ASPECTS OF THE DRIVE PERMIT.
- ALL WORK REQUIRING PERSONS OR VEHICLES WITHIN SR-172 OR LANEDALE AVE R/W AND TRAFFIC CONTROL DEVICES AND PROCEDURES SHALL BE IN ACCORDANCE WITH THE OHIO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND ITEM 614 (MAINTAINING TRAFFIC) OF THE CONSTRUCTION MATERIALS AND SPECIFICATIONS, CURRENT EDITIONS.
- THE DEVELOPER (PERMITEE) IS RESPONSIBLE FOR ALL UTILITY RELOCATIONS.

## DRAWING INDEX

### SHT # DESCRIPTION

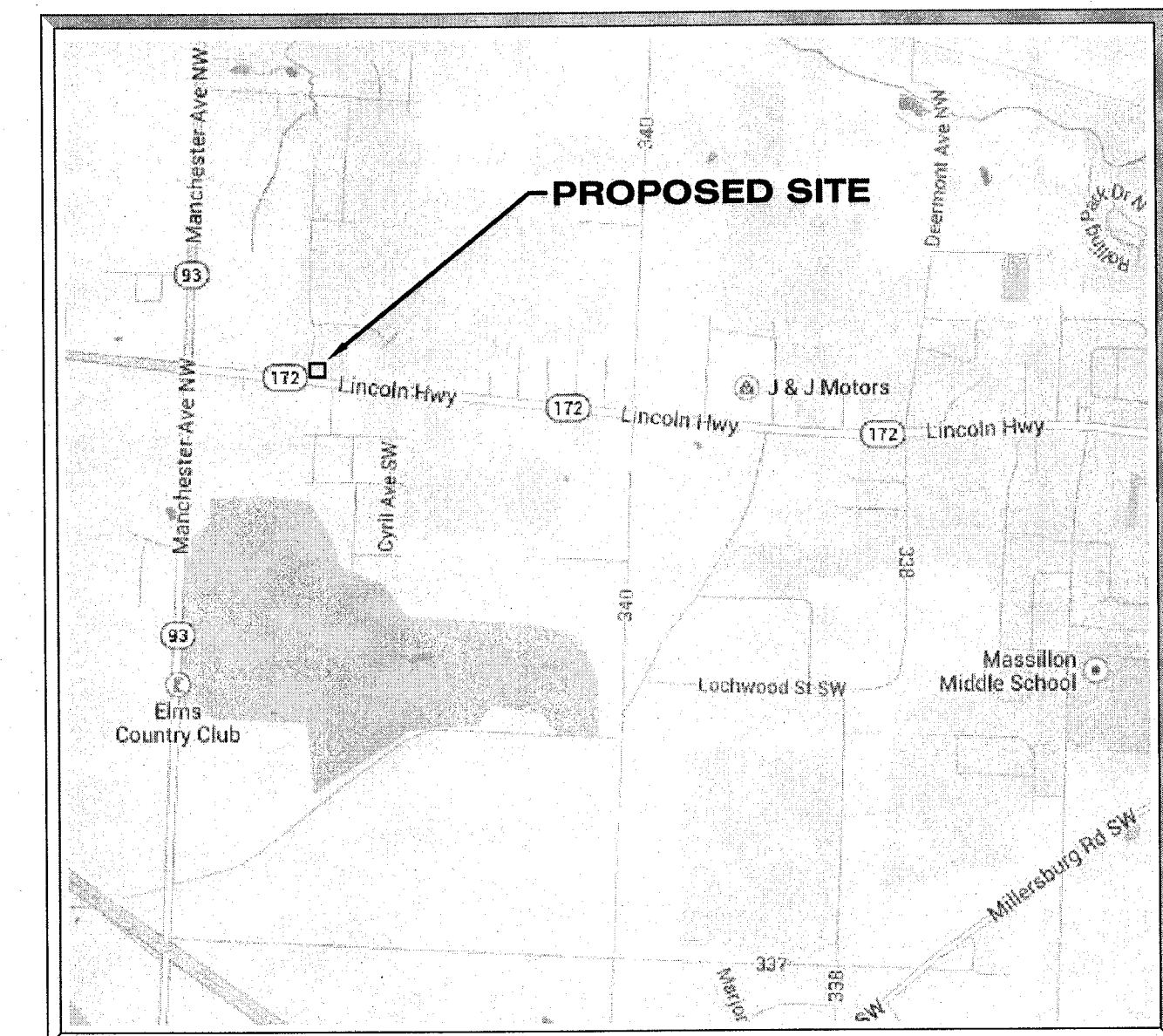
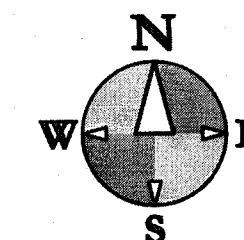
- C-1 - SITE LAYOUT PLAN
- C-2 - EXISTING CONDITIONS - DEMO PLAN
- C-3 - SITE UTILITY PLAN
- C-4 - GRADING-SESC PLAN
- C-5 - DETAILS
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- L-1 - LIGHTNING PLAN
- L-2 - LANDSCAPE PLAN
- I-1 - IRRIGATION PLAN
- S-1 - SWPPP SITE PLAN
- S-2 - SWPPP DETAILS
- S-3 - SWPPP DETAILS

STRIPING LEGEND	
YELLOW CURBING AND BOLLARDS - PARKING LOT	SURFACES SHOULD BE CLEAN, DRY AND METAL SURFACES FREE OF HEAVY RUST 2 COATS SHERWIN WILLIAMS - KEM 4000 ACRYLIC ALKYD ENAMEL SAFETY YELLOW B55Y300
STRIPING - PARKING LOT	SURFACES SHOULD BE CLEAN, DRY. TOP COAT SHERWIN WILLIAMS - PROMAR TRAFFIC MARKING PAINT YELLOW TM5495
HANDICAP STRIPING - PARKING LOT	SURFACES SHOULD BE CLEAN, DRY. TOP COAT SHERWIN WILLIAMS - PROMAR TRAFFIC MARKING PAINT "H.C." BLUE

## OHIO COUNTY MAP

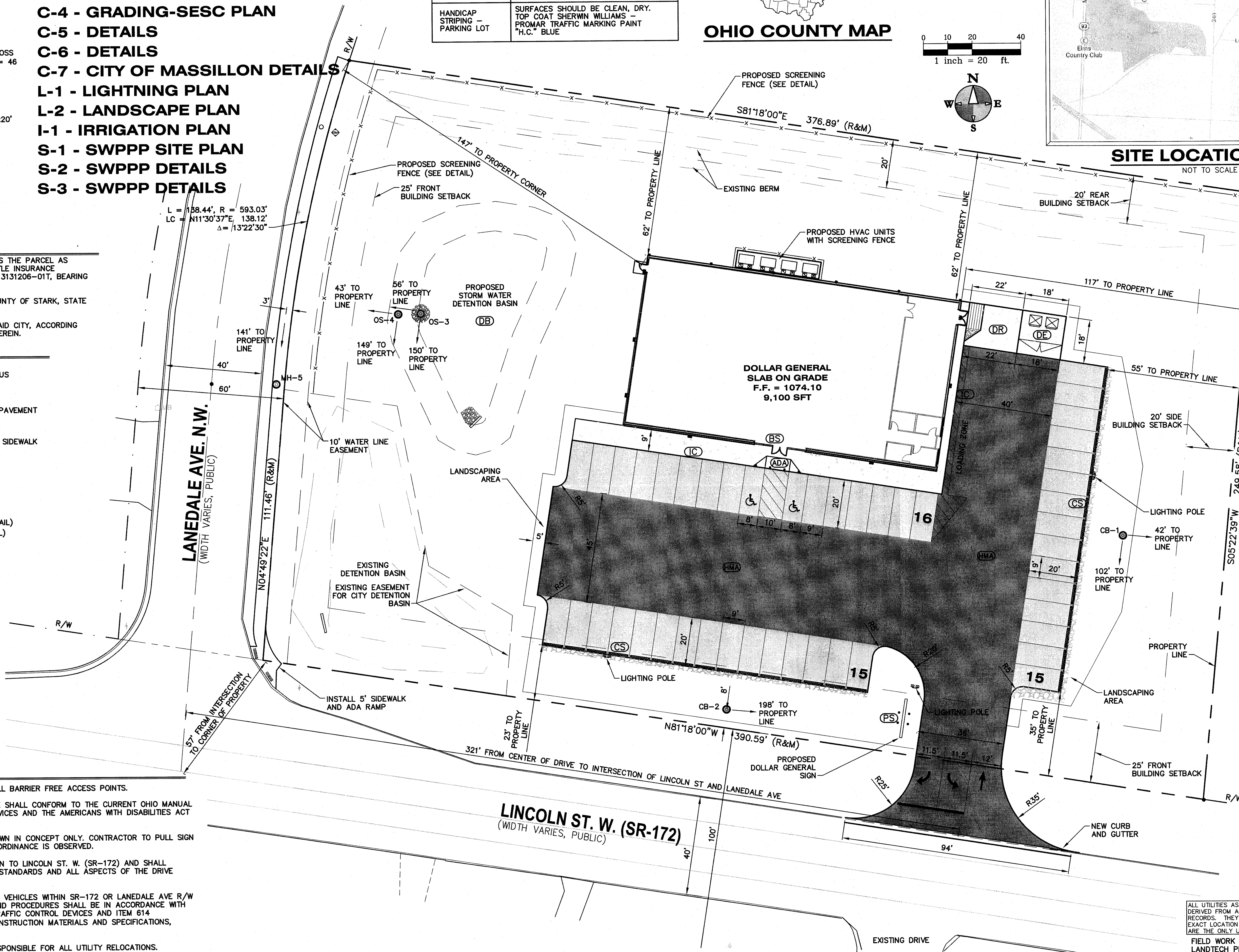


0 10 20 40  
1 inch = 20 ft.



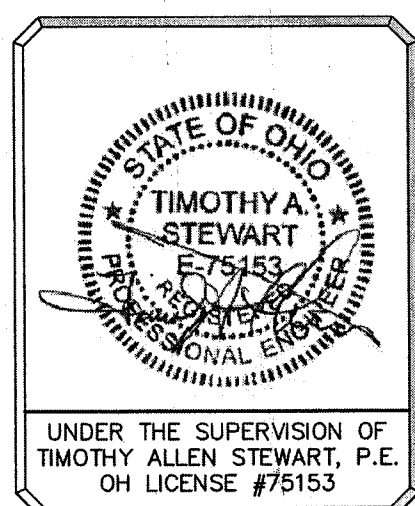
## SITE LOCATION MAP

NOT TO SCALE



APPROVED BY THE MASSILLON CITY ENGINEER THIS 14th DAY OF MAY 2014  
KEITH A. DYLEWSKI, P.E., P.S.

ONLY APPROVED SIGNED PLANS BY THE CITY ENGINEER ARE TO BE USED FOR CONSTRUCTION.



ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.  
FIELD WORK PERFORMED BY: LANDTECH PROFESSIONAL SURVEYING

## SITE LAYOUT PLAN

DOLLAR GENERAL - MASSILLON, OH (PARCEL 500343)

CAPITAL GROWTH - BUCHALTER

Sheet Title:  
Project:  
Client:

4/25/14

Sheet

C-1

Job No. 14-003B P.M.BG Drt: AS Q&QC: 4/25/14  
ISSUED FOR REVISIONS:  
1 SITE PLAN SUBMITTAL 3/11/14  
2 ODOT ME 505 APPLICATION 3/29/14  
3 REVISIONS PER ODOT COMMENTS 4/14/14  
4 REVISIONS PER CITY COMMENTS 4/24/14  
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# NOTES

1. ALL DEMOLITION WORK SHALL CONFORM TO ALL LOCAL CODES AND ORDINANCES. ALL DEMOLITION OPERATIONS SHALL COMPLY WITH OSHA REGULATIONS INsofar AS THEY APPLY TO THE REQUIRED WORK. SOIL EROSION AND SEDIMENTATION CONTROL ITEMS SHALL BE IN PLACE PRIOR TO DEMOLITION.
2. THE CONTRACTOR SHALL REMOVE AND CLEAR ALL TREES, BRUSH, FENCES, BUILDINGS, CURB, AND ASPHALT AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
3. ALL DEMOLITION MATERIAL SHALL BE PROPERLY REMOVED FROM THE SITE AND DISPOSED OF IN A LEGALLY DESIGNATED DISPOSAL AREA. PERMITS AND FEES FOR DISPOSAL OF DEMOLITION MATERIAL SHALL BE OBTAINED AND PAID FOR BY THE CONTRACTOR.
4. THE CONTRACTOR SHALL DEMOLISH AND REMOVE ANY ITEMS REMAINING FROM THE EXISTING BUILDING, IN ITS ENTIRETY, INCLUDING WALLS, FOUNDATIONS AND FOOTINGS. ALL BUILDING DRAINS AND UTILITY LEADS SHALL BE LOCATED AND PROPERLY PLUGGED. UTILITY LEAD WORK SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
5. BACKFILL EXCAVATED AREAS WITH CLEAN GRANULAR FILL COMPACTED TO 95% OF THE MATERIAL UNIT WEIGHT BY MODIFIED PROCTOR.

## EXISTING STRUCTURE DATA

EX CB #1  
RIM = 1071.39  
INV. 12" CPP N = 1068.99  
INV. 12" CPP W = 1069.09  
INV. 12" CPP S = 1068.86

EX CB #2  
RIM = 1068.30  
INV. 12" CPP N = 1065.17  
INV. 12" CPP W = 1065.24  
INV. 15" CPP SW = 1064.85

EX CB #3  
RIM = 1068.81  
INV. 24" RCP N = 1062.91  
INV. 24" RCP S = 1062.76

EX CB #4  
RIM = 1069.54  
INV. 15" CPP NE = 1062.29  
INV. 15" CPP E = 1064.39  
INV. 5" CLAY SE = 1063.89  
INV. 36" RCP E = 1061.84  
INV. 36" RCP W = 1061.79

EX CB #5  
RIM = 1071.22  
INV. 18" CLAY NE = 1064.72  
INV. 18" CLAY SE = 1065.62  
INV. 24" RCP S = 1064.02  
INV. 36" RCP E = 1064.12  
INV. 36" RCP W = 1063.92

RIM = 1071.52  
INV. 18" CLAY W = 1066.87

EX SAN MH #7  
RIM = 1068.68  
INV. 10" PVC N = 1058.96  
INV. 10" PVC W = 1059.01  
INV. 10" PVC E = 1059.66

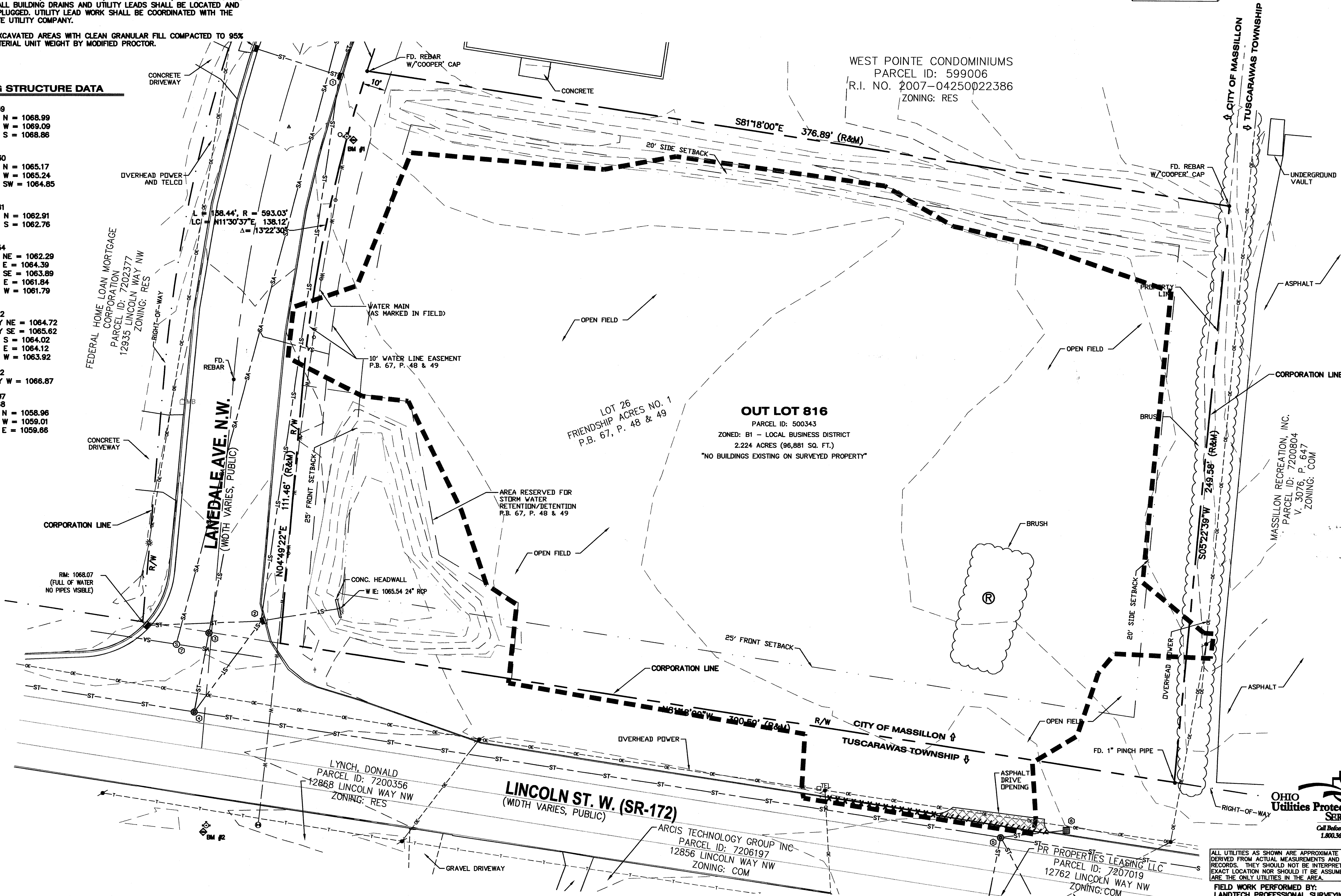
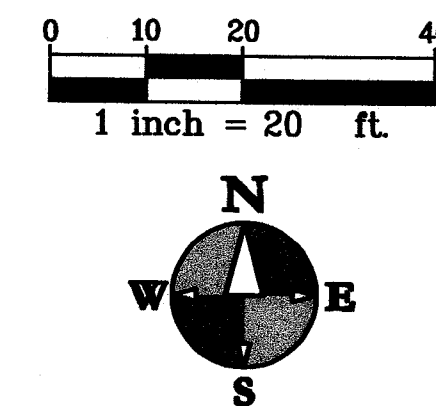
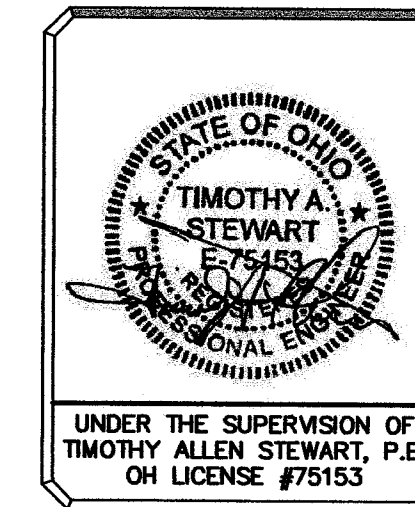
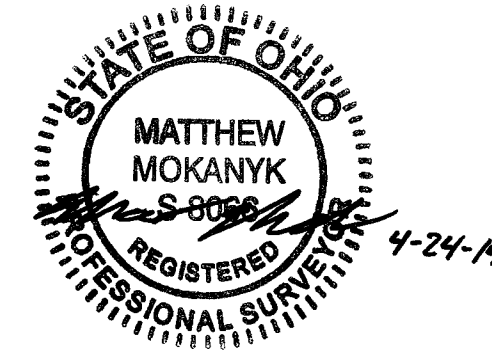
## BENCHMARKS

BM # 1 ELEVATION = 1073.68  
TOP NUT ON HYDRANT

BM # 2 ELEVATION = 1072.40  
TOP NUT ON HYDRANT

## REMOVALS LEGEND

- XXXXXX CURB REMOVAL
- ////// SAWCUT
- XXXXXX UTILITY LINE REMOVAL
- TREE REMOVAL
- Ⓡ REMOVE
- Ⓢ SALVAGE
- LIMITS OF CONSTRUCTION



**EXISTING CONDITIONS - DEMO PLAN**  
**DOLLAR GENERAL - MASSILLON, OH (PARCEL 500343)**  
**CAPITAL GROWTH - BUCHALTER**

Sheet Title:  
Project:  
Client:

3/28/14  
Sheet  
**C-2**

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FIELD WORK PERFORMED BY:  
LANDTECH PROFESSIONAL SURVEYING

Job No. 14-003B P.M.BG Drk. --- QA/QC: 3/28/14  
ISSUED FOR REVISIONS:  
1 SITE PLAN SUBMITTAL 3/11/14  
2 ODOT MR 606 APPLICATION 3/28/14  
3 REVISIONS PER ODOT COMMENTS 4/14/14

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- ## EXISTING STRUCTURE DATA

EX CB #9  
RIM = 1068.07  
(FULL OF ICE  
NO PIPES VISIBLE)

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**FIELD WORK PERFORMED BY:**  
**LANDTECH PROFESSIONAL SURVEYING**

**C-3**



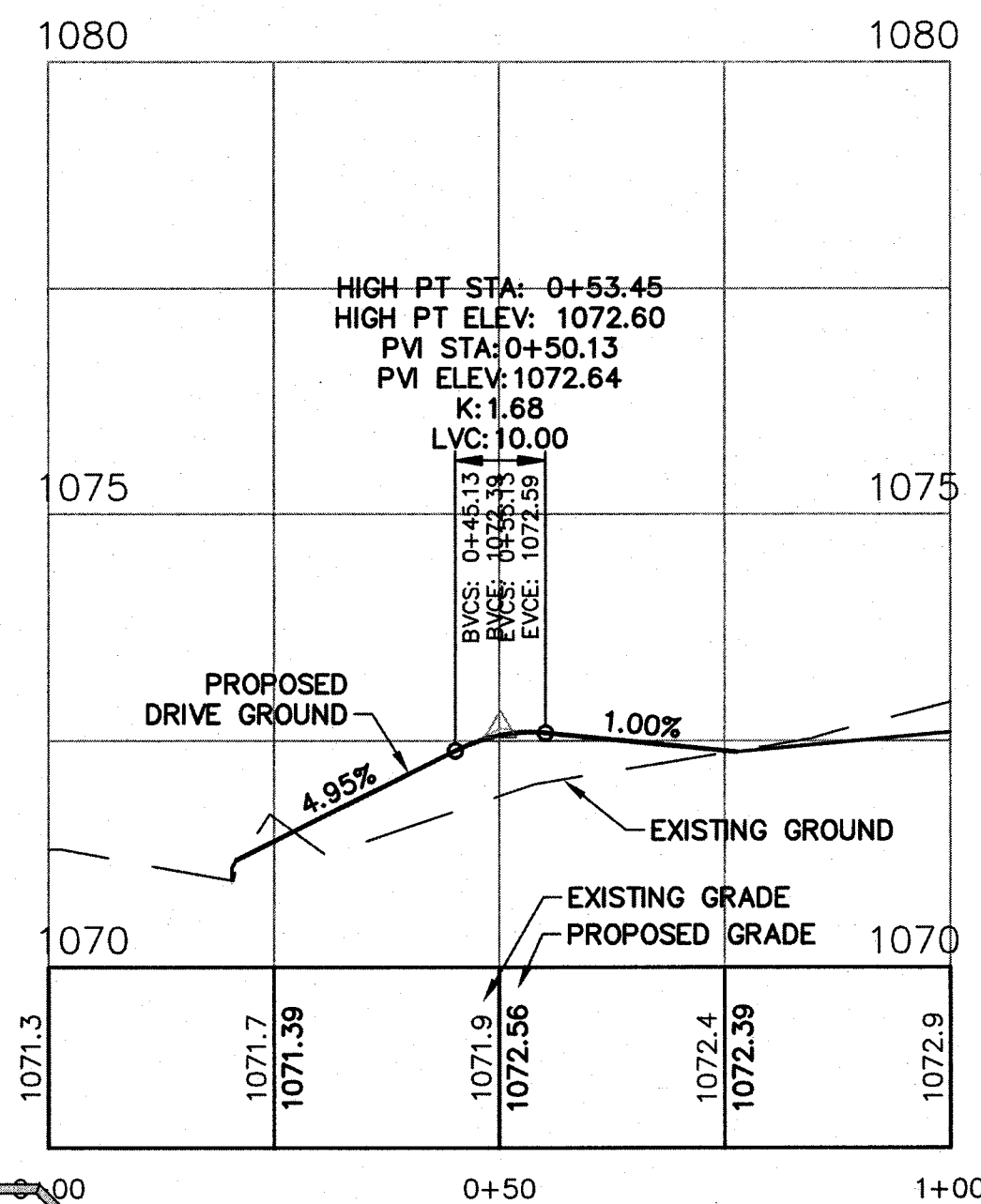
# SOIL EROSION AND SEDIMENTATION CONTROL MEASURES

KEY	DETAIL	CHARACTERISTICS
1	Stripping & Stockpiling Topsoil	Topsoil may be stockpiled above borrow areas to act as a diversion. Stockpile should be temporarily seeded.
5	Seeding	Inexpensive & very effective. Stabilizes soil, thus minimizing erosion. Permits runoff to infiltrate soil, reducing runoff volume. Should include prepared topsoil seed.
13	Riprap, Rubble, Gabions	Used where vegetation is not easily established. Effective for high velocities or high concentrations. Permits runoff to infiltrate soil. Disperses energy flow at system outlets.
15	Paving	Protects areas which cannot otherwise be protected, but increases runoff volume and velocity. Irregular surface will help slow velocity.
35	Storm Sewer	System removes collected runoff from site, particularly from paved areas. Can accept large concentrations of runoff. Conducts runoff to municipal sewer system or stabilized outfall location. Use catch basins to collect sediment.
36	Catch Basins, Drain Inlet	Catches high velocity concentrated runoff. May use filter cloth over inlet.
54	Geotextile Silt Fence	Use geotextile and posts or poles. May be constructed or prepackaged. Easy to construct and locate as necessary.

XX TEMPORARY MEASURE  
YY PERMANENT MEASURE

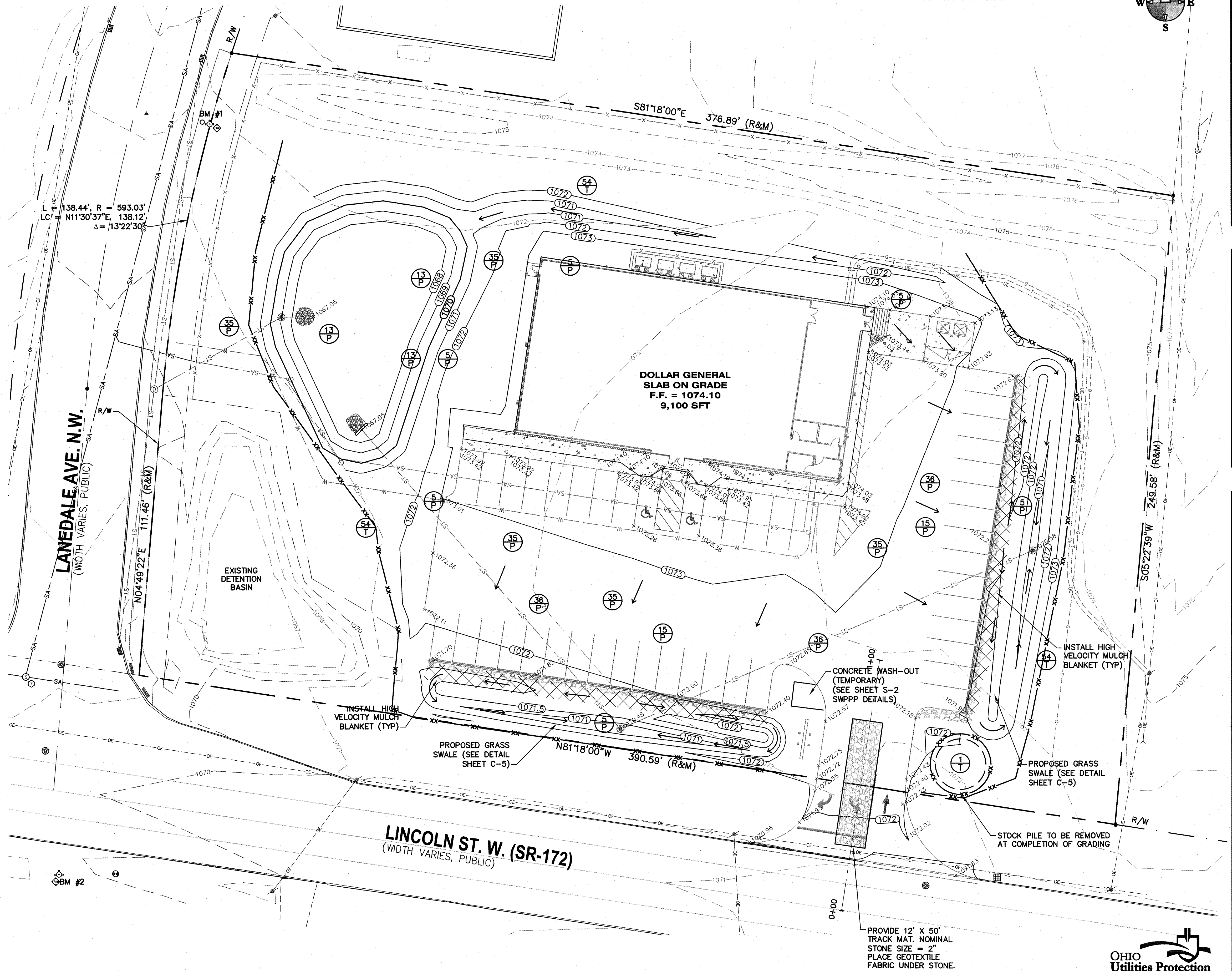
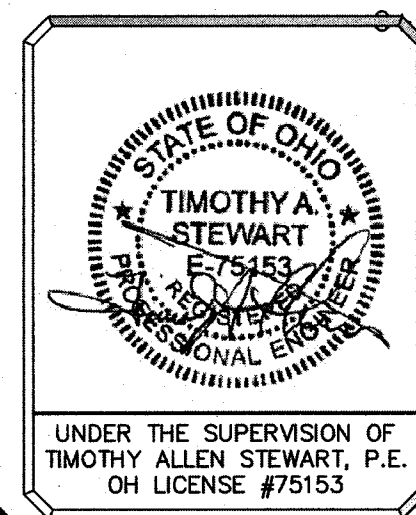
## GRADING - SESC NOTES

- MATCH EXISTING GRADES AROUND PERIMETER WITH SLOPES AS SHOWN.
- ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT GRADES AT EDGE OF METAL (EOM) UNLESS OTHERWISE NOTED.
- ALL SOIL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO MASS GRADING.
- ALL EXCAVATION AND SITE PREPARATION SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEERING REPORT, PSI PROJECT NO. 0145687 ISSUED 11/05/2013.
- ALL EXISTING ELEVATIONS ARE TO BE VERIFIED AND ACCEPTED AS SHOWN PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR SHALL TAKE PRECAUTIONS TO AVOID TRACKING SOIL ONTO ADJACENT ROADWAYS. SCRAPE ROAD AT THE END OF EACH WORKDAY AND SWEEP AT LEAST ONCE A WEEK.
- ANY DISTURBED AREA THAT WILL BE LEFT UNWORKED 5 DAYS OR LONGER MUST BE SEEDED AND MULCHED OR SODDED TO ESTABLISH VEGETATION FOR TEMPORARY STABILIZATION. BASINS TO BE SEEDED AND MULCH BLANKETS APPLIED IMMEDIATELY TO PROVIDE A STABLE BASE AND AVOID EXCESSIVE EROSION.
- STRAW MULCH BLANKETS SHALL BE USED ON 3:1 SLOPES OR GREATER. ALL SLOPES ON SITE SHALL BE 4:1 OR LESS, UNLESS OTHERWISE DIRECTED BY ENGINEER.
- ROAD RIGHTS-OF-WAY MUST BE STABILIZED WITH SEED AND MULCH WITHIN 5 DAYS OF COMPLETING UTILITY WORK IN THE RIGHT-OF-WAY.
- AREAS OF EARTH CHANGE THAT ARE DISTURBED BEYOND THE FALL SEEDING DEADLINE (NOV. 1) MUST BE TEMPORARILY STABILIZED WITH A MINIMUM OF STRAW MULCH SECURELY CRIMPED TO THE GROUND.
- ACCUMULATED SEDIMENT TO BE REMOVED FROM STORM SYSTEM UPON COMPLETION OF CONSTRUCTION. ALL TEMPORARY CONTROLS TO BE REMOVED AFTER SITE IS STABILIZED AND VEGETATION ESTABLISHED.



## DRIVEWAY PROFILE

HORZ. SCALE: 1"=20'  
VERT. SCALE: 1"=2'

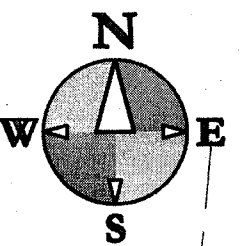


## BENCHMARKS

BM # 1 ELEVATION = 1073.68  
TOP NUT ON HYDRANT

BM # 2 ELEVATION = 1072.40  
TOP NUT ON HYDRANT

0 10 20 40  
1 inch = 20 ft.



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GRADING-SESC PLAN  
DOLLAR GENERAL - MASSILLON, OH (PARCEL 500343)  
CAPITAL GROWTH - BUCHALTER

Sheet Title:  
Project:  
Client:

4/25/14  
Sheet

C-4

ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.

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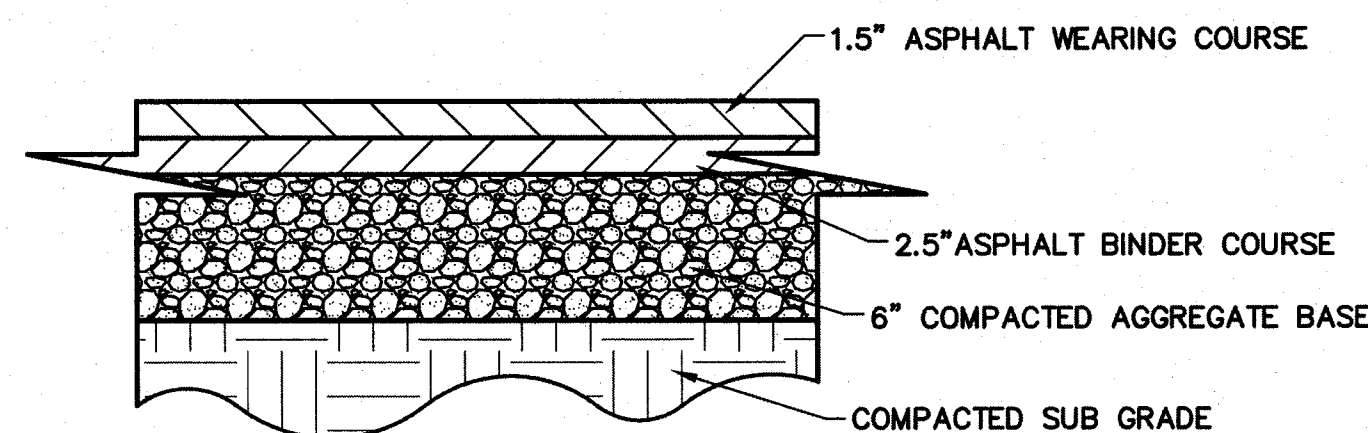


# PAVEMENT NOTES:

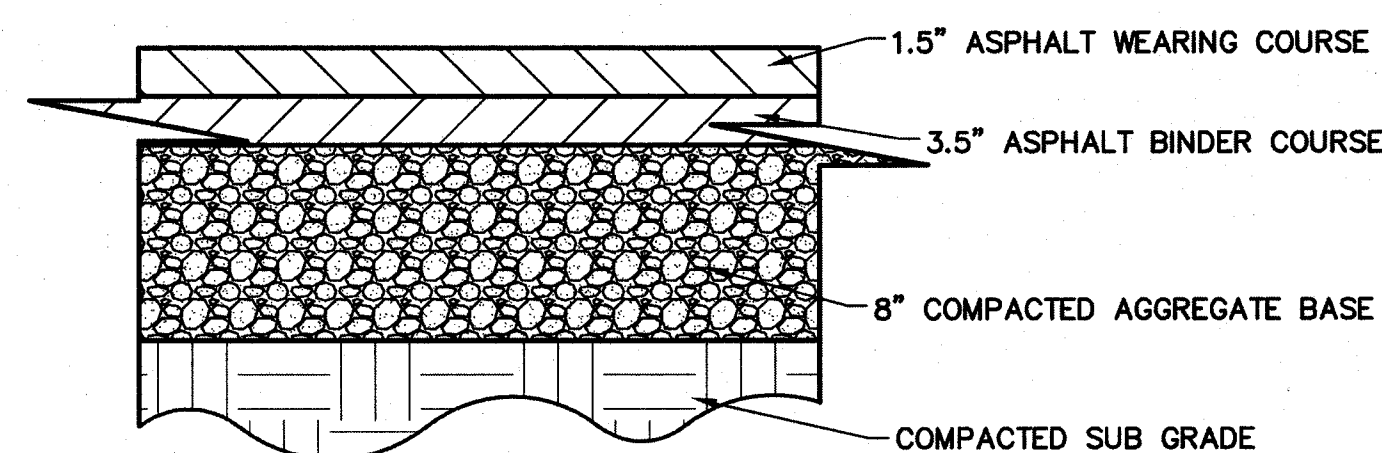
1. THE SUBGRADE MATERIALS SHALL BE PROOF ROLLED AND/OR SCARIFIED AND COMPACTED PRIOR TO PLACEMENT OF BASE MATERIAL. WHERE EXISTING SUBGRADE MATERIALS ARE UNSUITABLE, THEY SHALL BE REMOVED AND REPLACED WITH COMPACTED SELECT MATERIAL IN ACCORDANCE WITH GEOTECHNICAL RECOMMENDATIONS.

2. HEAVY DUTY CONCRETE PAVEMENT AND STANDARD DUTY CONCRETE PAVEMENT (AS RECOMMENDED BY THE GEOTECHNICAL REPORT OR DOLLAR GENERAL MINIMUMS) SHALL BE STEEL REINFORCED. REINFORCEMENT TYPE SHALL BE PRIOR APPROVED BY DOLLAR GENERAL.

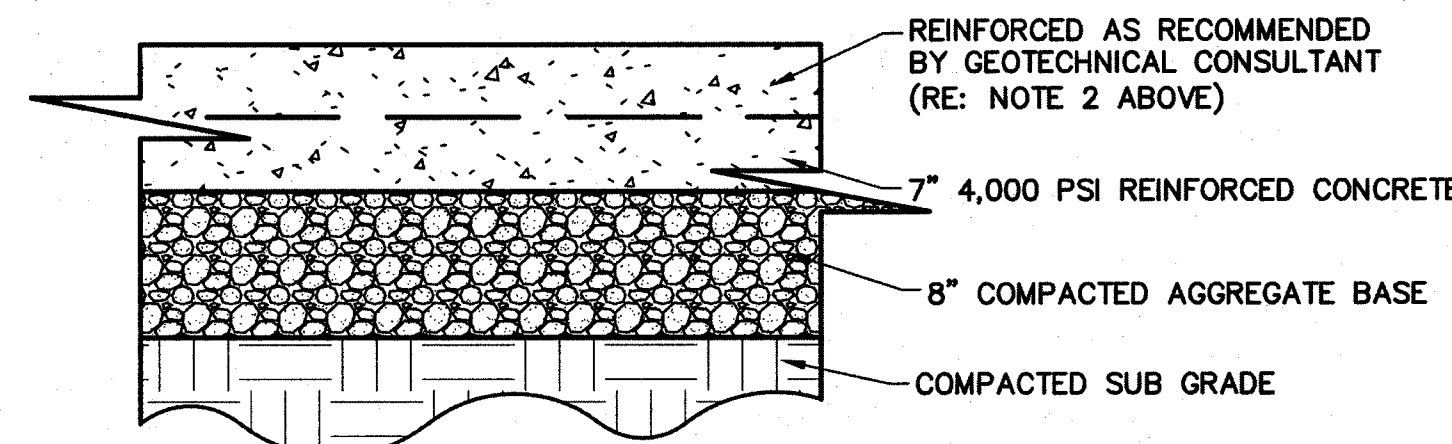
3. CONCRETE PAVEMENT PLAN SHALL BE PROVIDED TO DOLLAR GENERAL FOR PRIOR APPROVAL. ALL JOINTS MUST BE SEALED WITH AN APPROVED SEALANT. STEEL REINFORCING SHALL BE USED AT JOINTS. REFER TO ACI 330R (GUIDE FOR DESIGN AND CONSTRUCTION OF CONCRETE PARKING LOTS) FOR JOINT DESIGN AND LAYOUT.



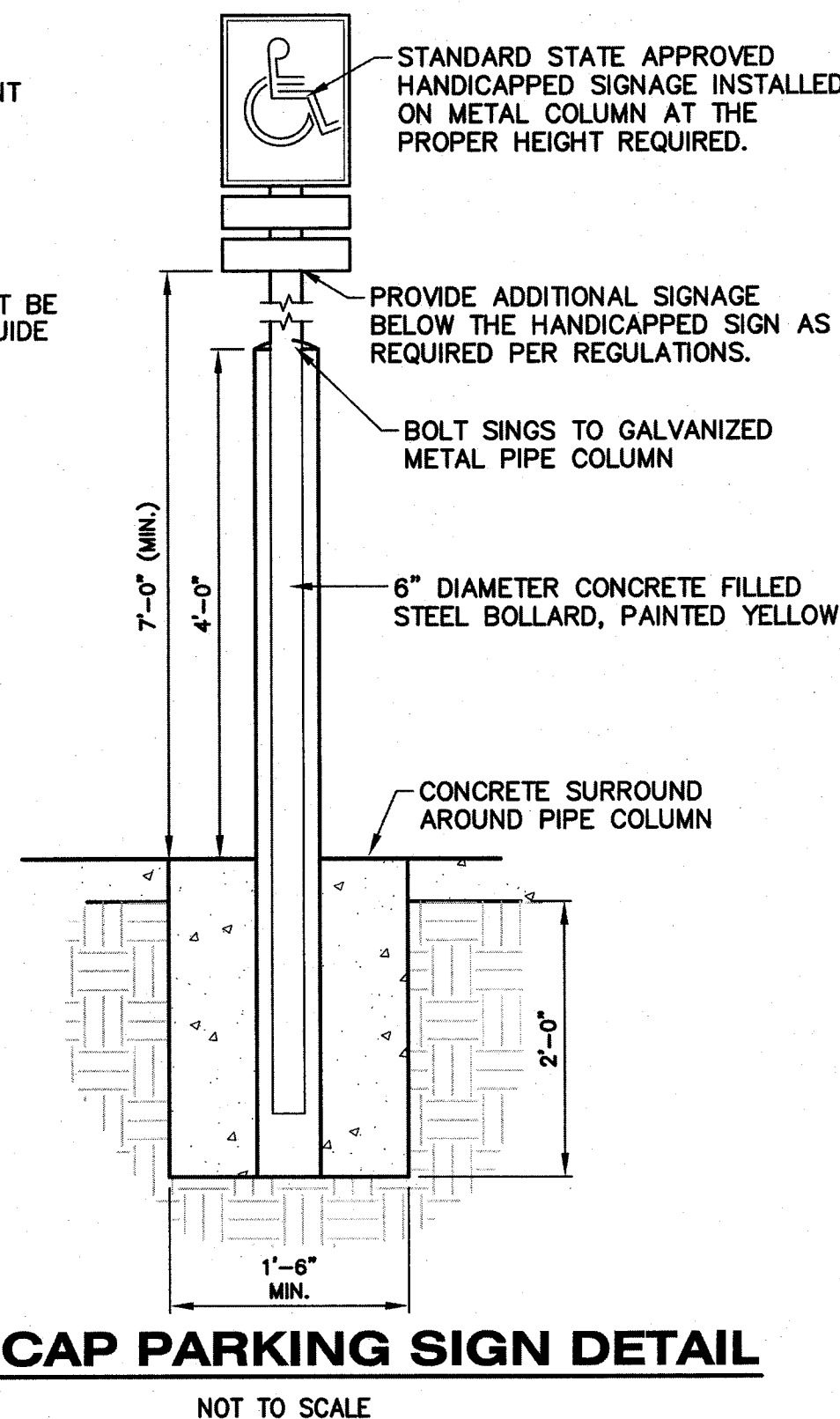
**STANDARD DUTY ASPHALT DETAIL**  
NOT TO SCALE



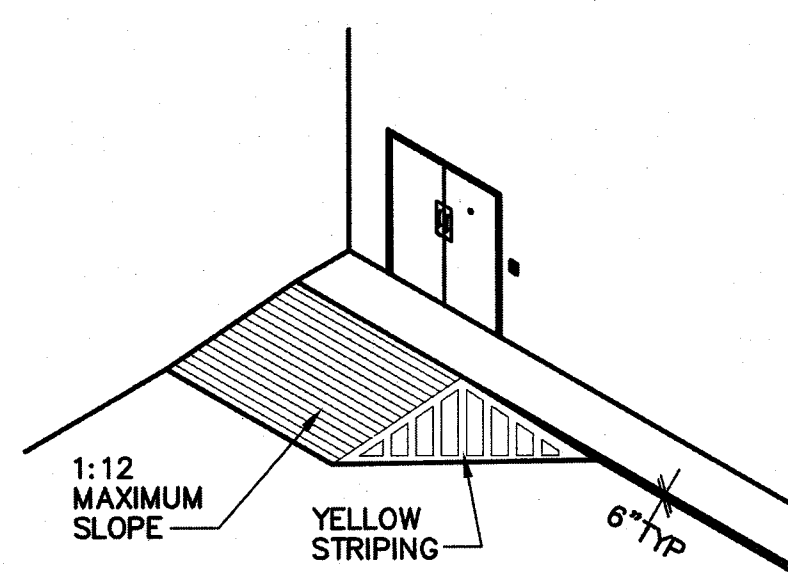
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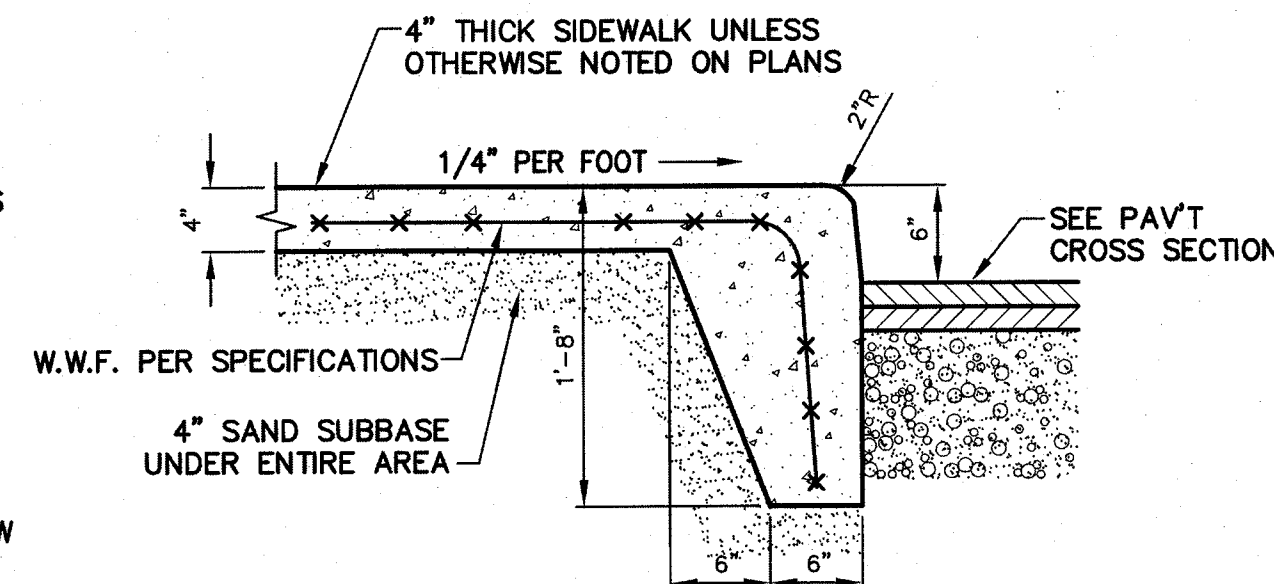
**HEAVY DUTY CONCRETE DETAIL**  
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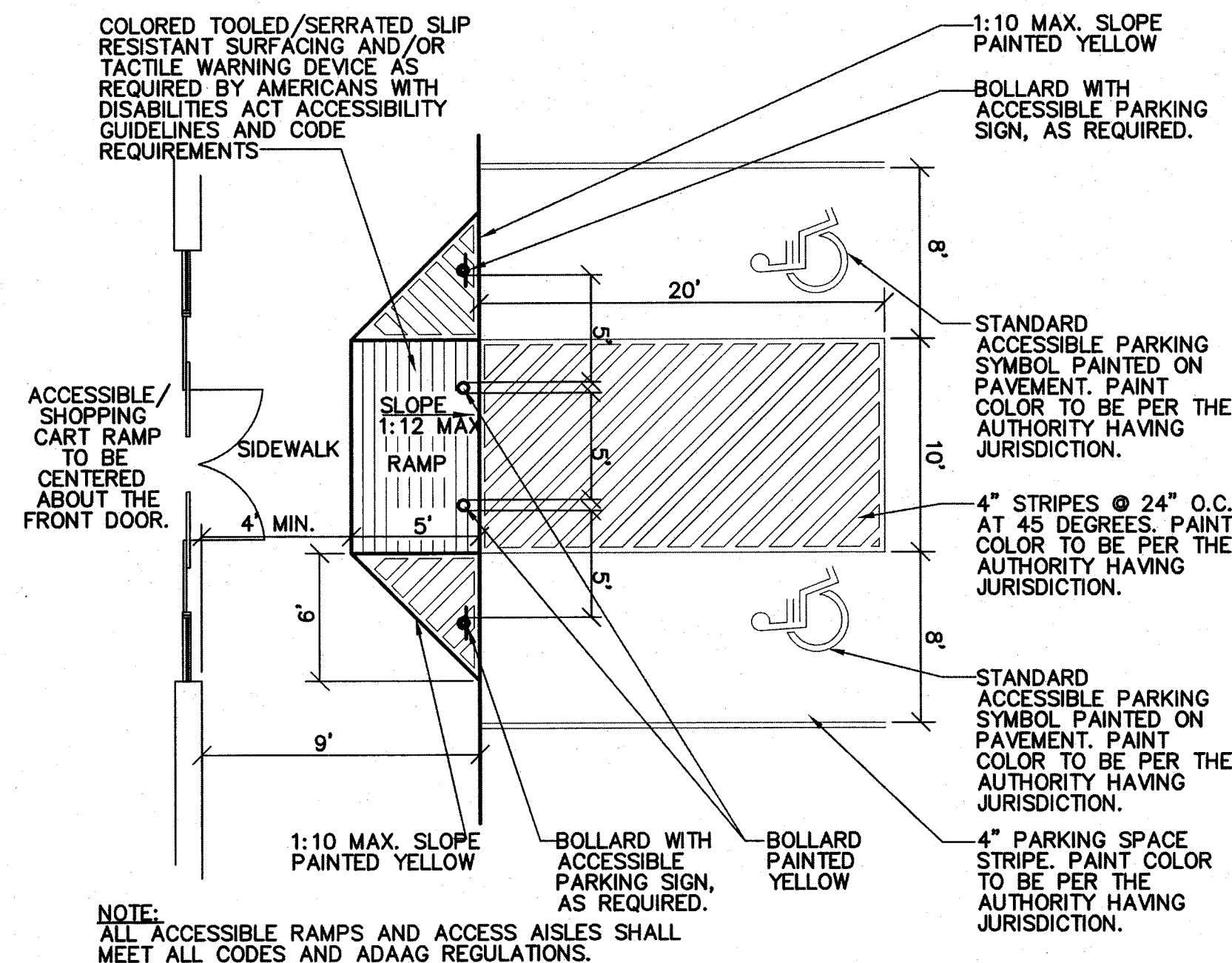
**HANDICAP PARKING SIGN DETAIL**  
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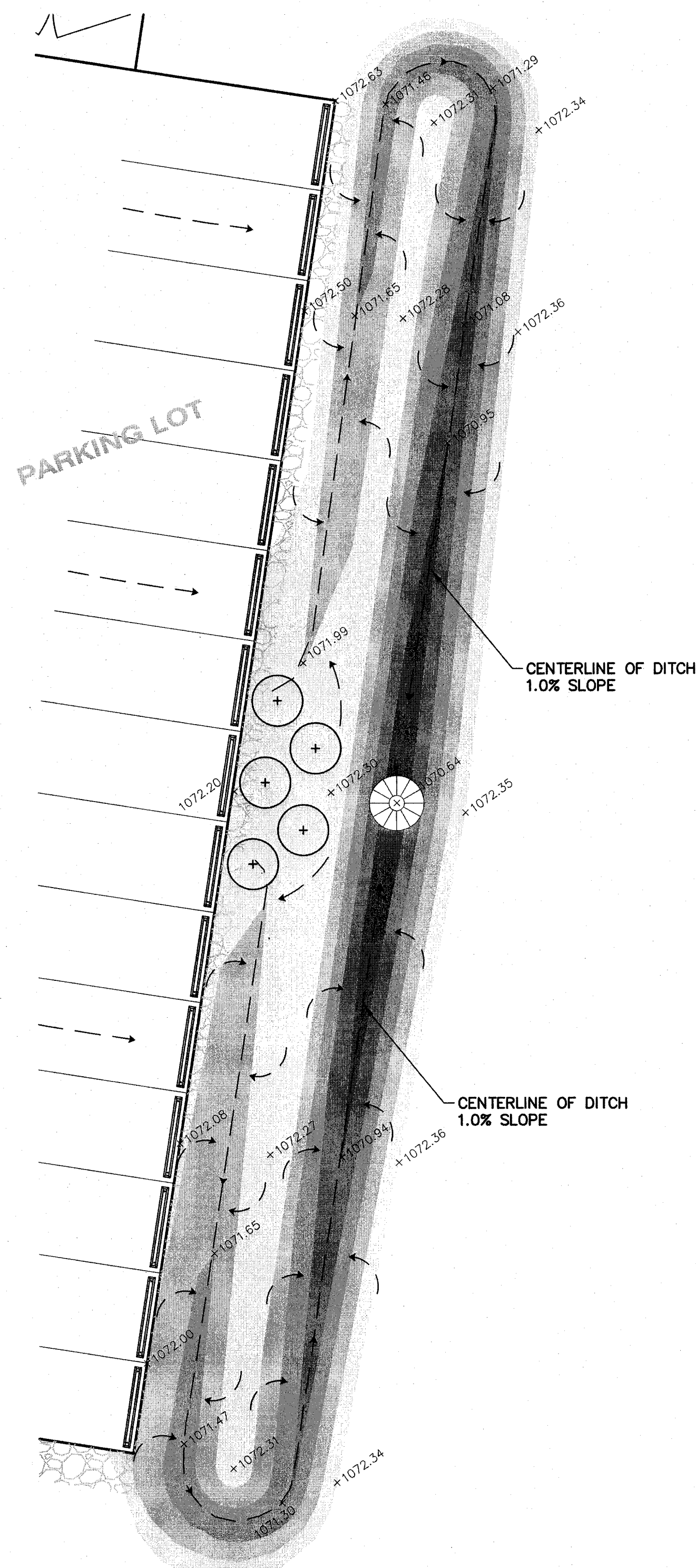
**DELIVERY ACCESS RAMP**  
NOT TO SCALE



**INTEGRAL SIDEWALK/CURB**  
NOT TO SCALE



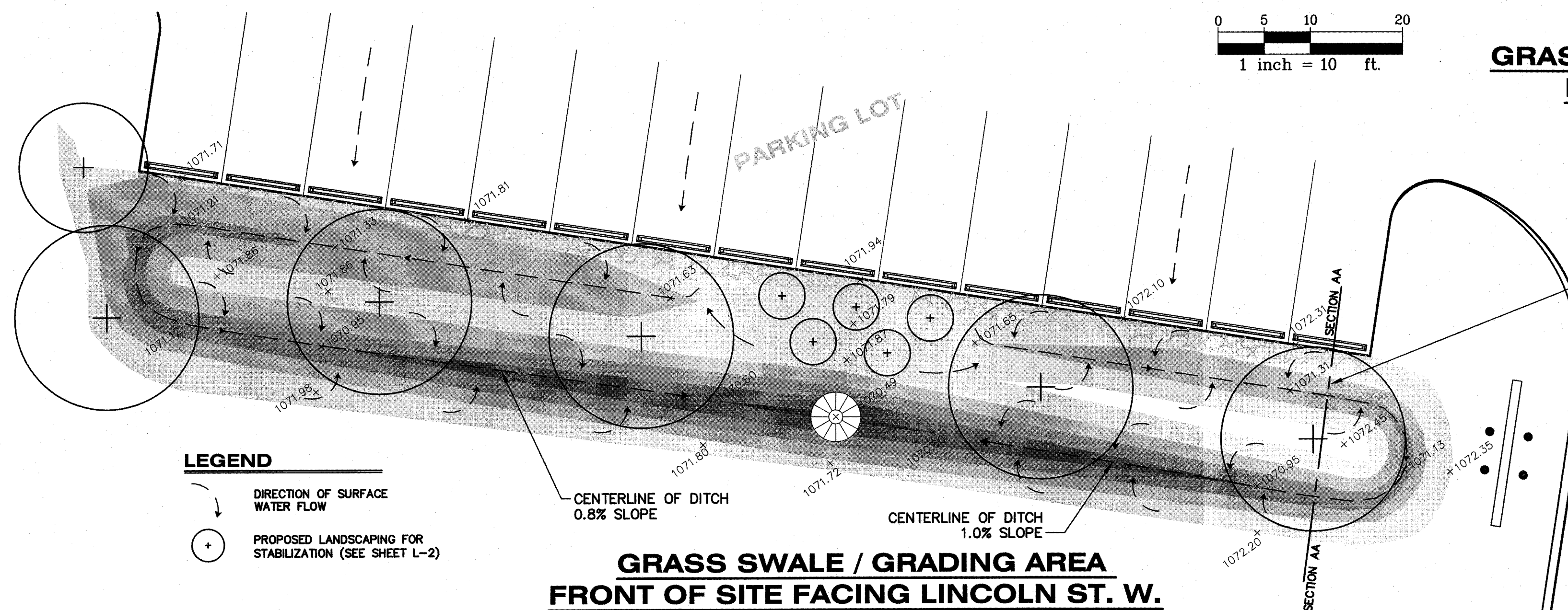
**HANDICAP PARKING DETAIL**  
NO SCALE



**GRASS SWALE / GRADING AREA**  
**EAST SIDE OF SITE**

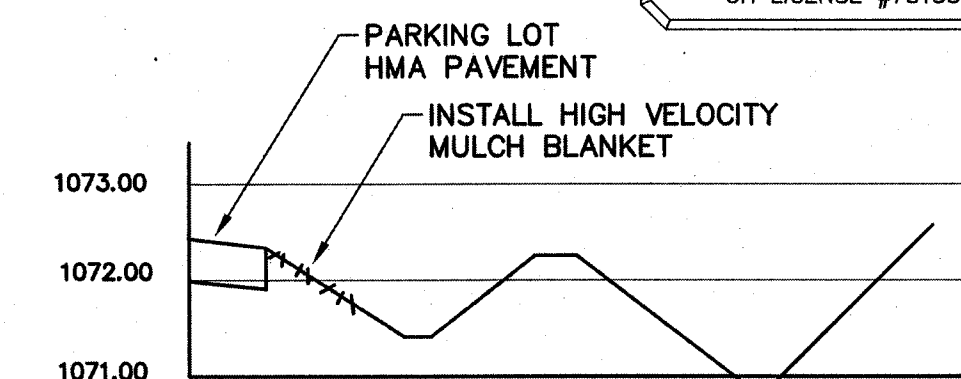
## LEGEND

	PROPOSED CONTOUR HIGHLIGHTED		EXISTING CONTOUR HIGHLIGHTED
	PROPOSED CONTOUR NORMAL		EXISTING CONTOUR NORMAL
	PROPOSED SANITARY SEWER		EXISTING SANITARY SEWER
	PROPOSED STORM SEWER		EXISTING STORM SEWER
	PROPOSED CATV		EXISTING CATV
	PROP ELEC (OVERHEAD)		EXIST ELEC (OVERHEAD)
	PROP ELEC (UNDERGROUND)		EXIST ELEC (UNDERGROUND)
	PROPOSED FIBEROPTICS		EXISTING FIBEROPTICS
	PROPOSED GAS LINE		EXISTING GAS LINE
	PROPOSED TELEPHONE LINE		EXISTING TELEPHONE LINE
	PROPOSED WATER MAIN		EXISTING WATER MAIN
	PROPOSED TREELINE		EXISTING TREELINE
	PROPOSED FENCE		EXISTING FENCE
	CURB CATCH BASIN		GAS METER
	SQUARE CATCH BASIN		TELEPHONE MANHOLE
	ROUND CATCH BASIN		TELEPHONE PEDESTAL
	MANHOLE STORM		TELEPHONE POLE
	MANHOLE SANITARY		PROPOSED SPOT GRADE
	SANITARY CLEANOUT		EXISTING SPOT GRADE
	FIRE HYDRANT		BENCH MARK
	WATER VALVE		POST/BOLLARD
	WATER VALVE IN VAULT		SIGN
	WATER METER		MAILBOX
	WATER REDUCER		SOIL BORING
	LIGHT POLE		MONITOR WELL
	POWER POLE		
	GUY WIRE		
	ELECTRIC MANHOLE		
	ELECTRIC METER		



**GRASS SWALE / GRADING AREA**  
**FRONT OF SITE FACING LINCOLN ST. W.**

SECTION AA CENTERLINE  
(SEE BELOW)



**TYPICAL SECTION AA**

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3 REVISIONS PER CITY COMMENTS 4/14/14  
4 REVISIONS PER CITY COMMENTS 4/24/14  
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**DETAILS**  
**DOLLAR GENERAL - MASSILLON, OH (PARCEL 500343)**  
**CAPITAL GROWTH - BUCHALTER**

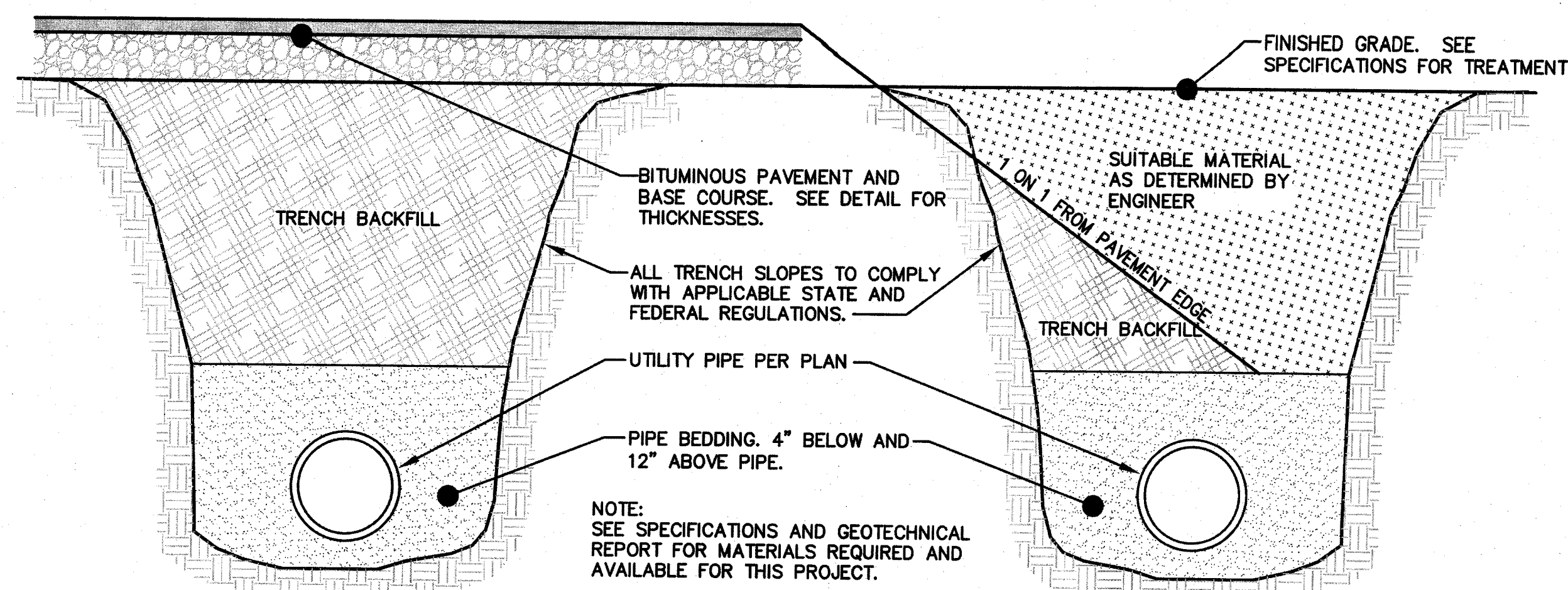
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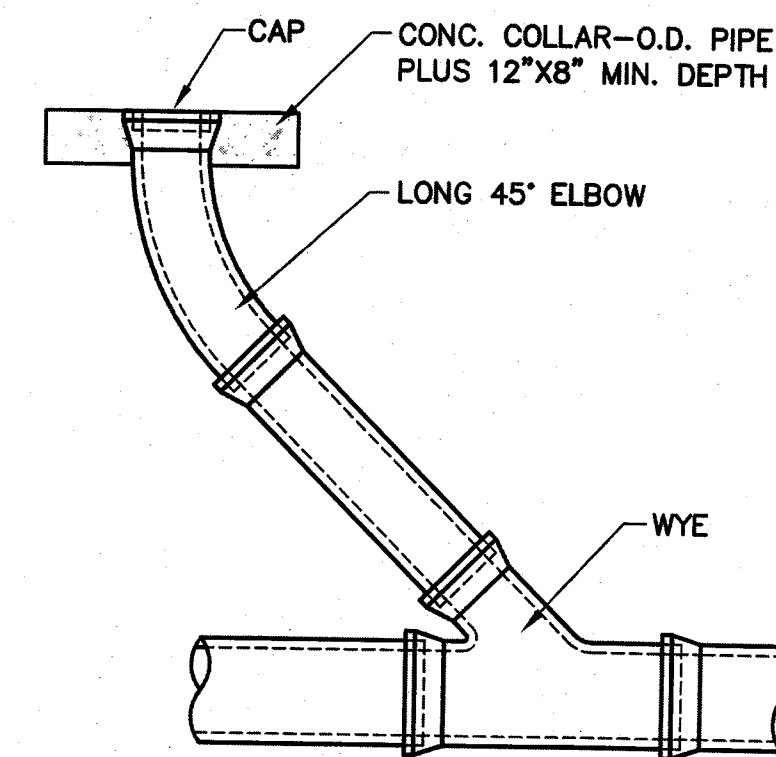
**C-5**



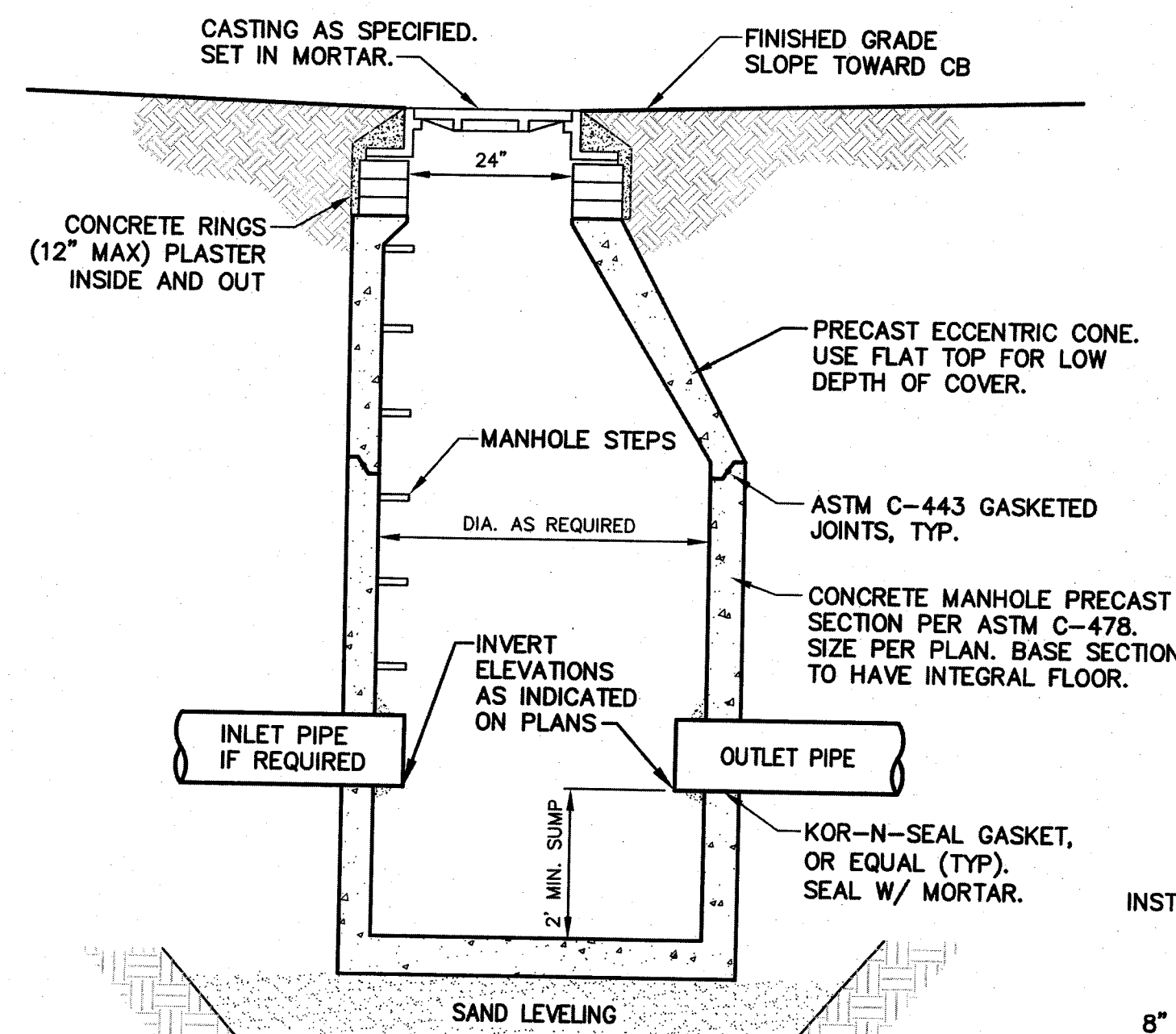
## UNDER PAYED AREA



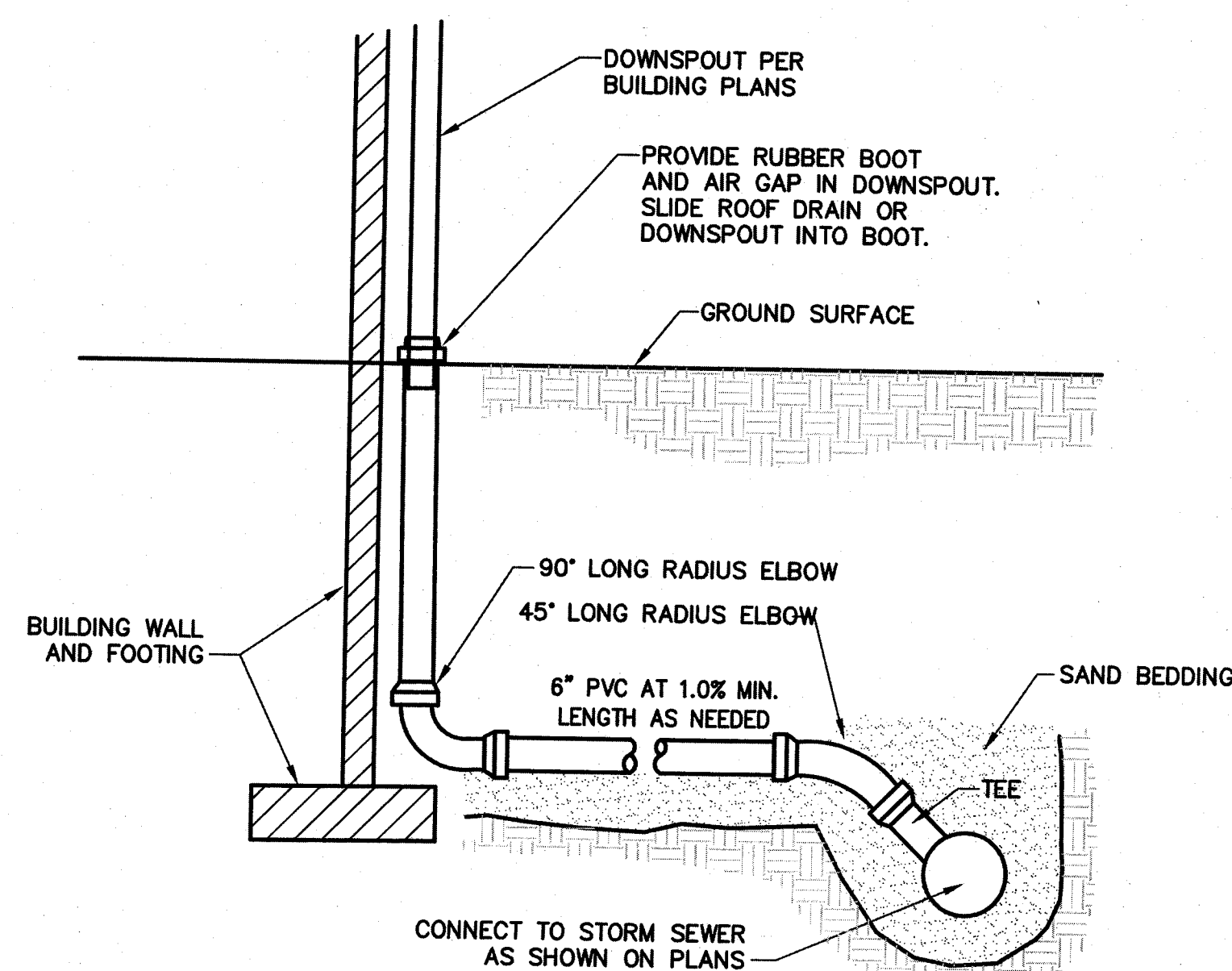
**TRENCH DETAILS**  
NO SCALE



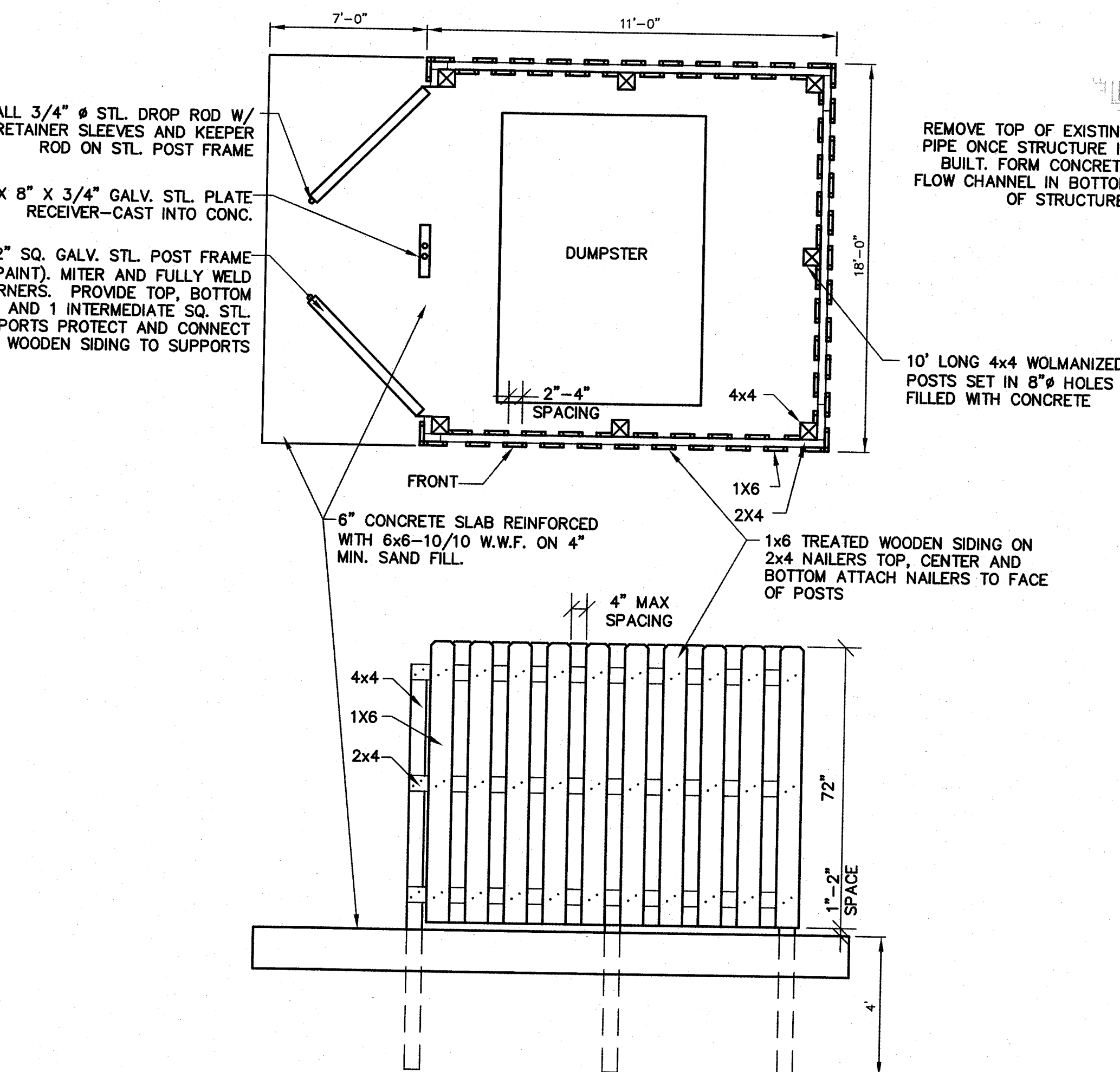
**CLEANOUT DETAIL**  
NO SCALE



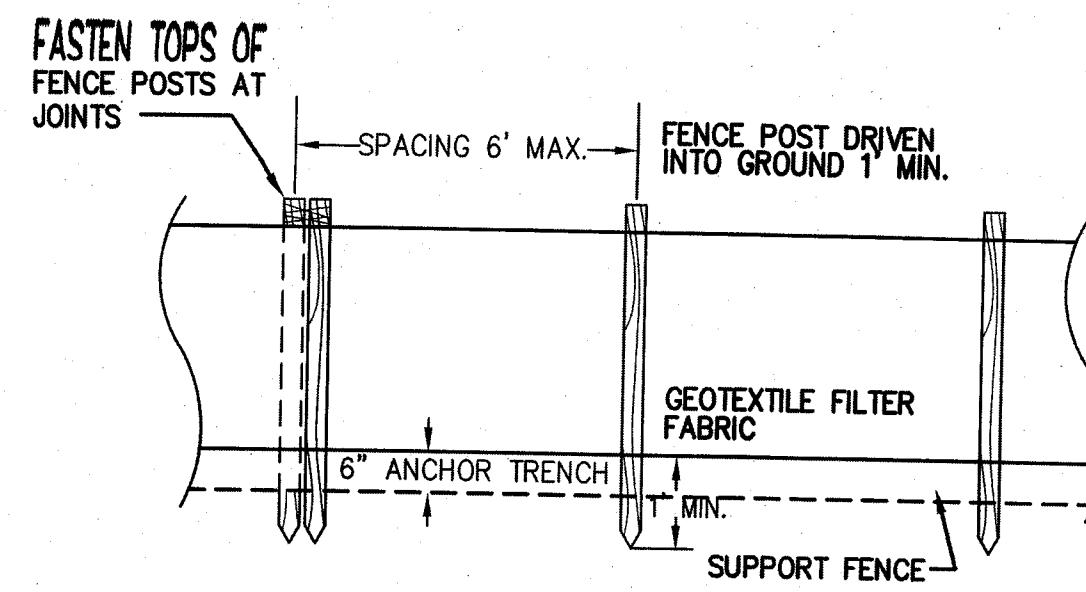
**CATCH BASIN DETAIL**  
NO SCALE



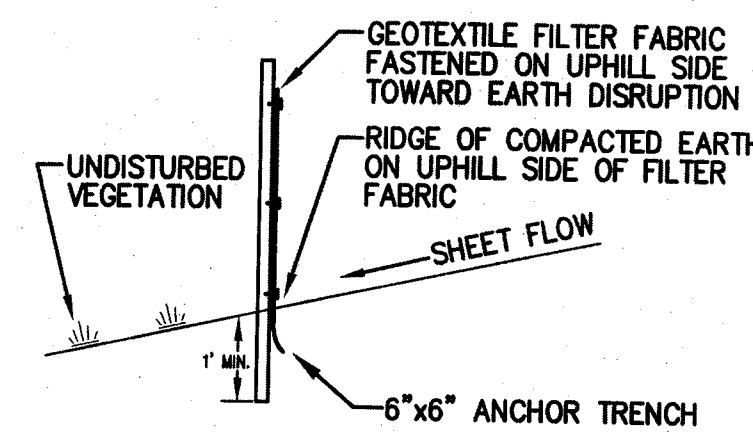
**ROOF LEAD/ DOWNSPOUT DETAIL**  
NO SCALE



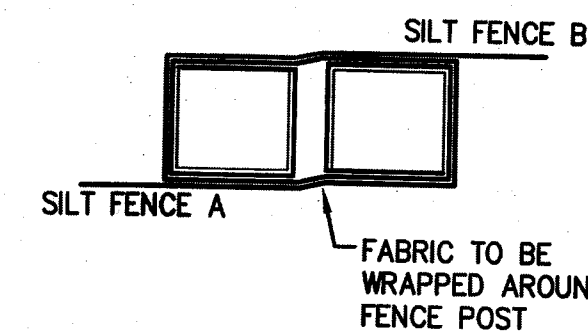
**DUMPSTER SCREEN**  
NOT TO SCALE



**FRONT VIEW**  
NOT TO SCALE

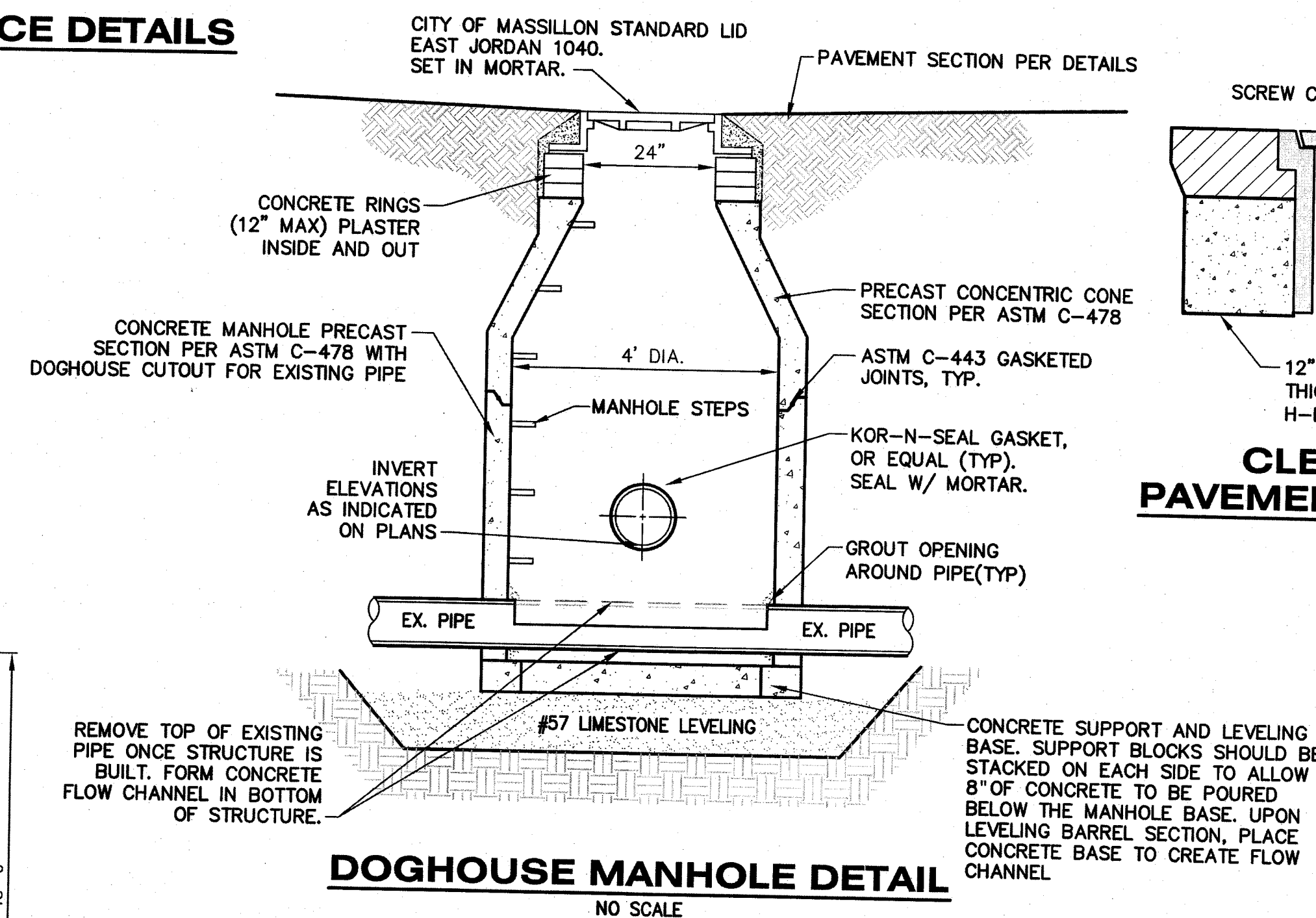


**SECTION**  
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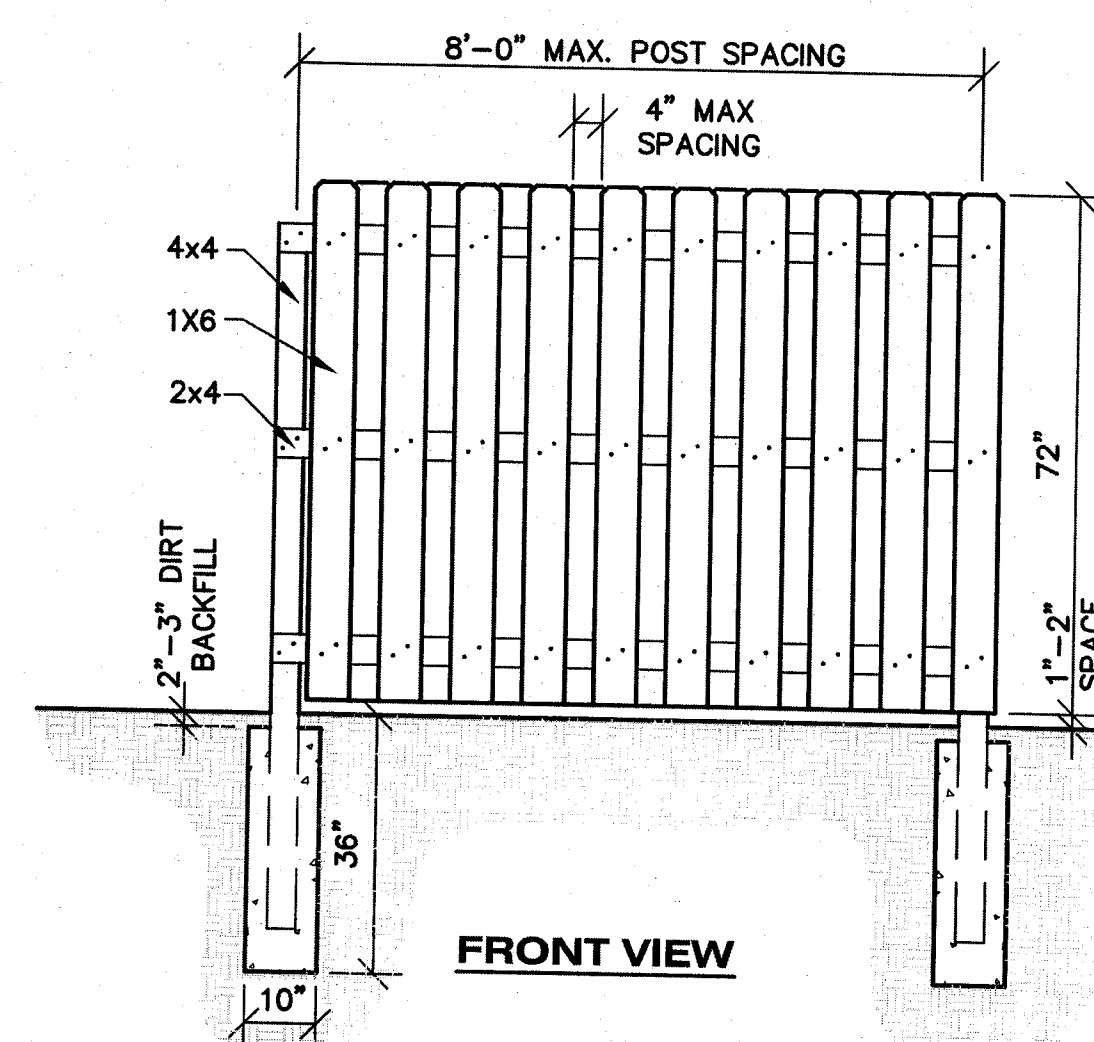
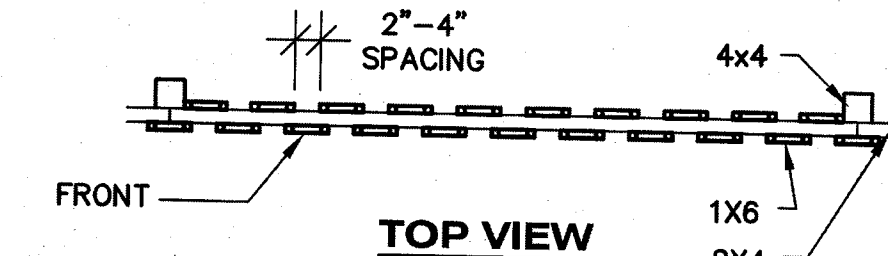


**JOINT DETAIL**  
NOT TO SCALE

**SILT FENCE DETAILS**



**DOGHOUSE MANHOLE DETAIL**  
NO SCALE

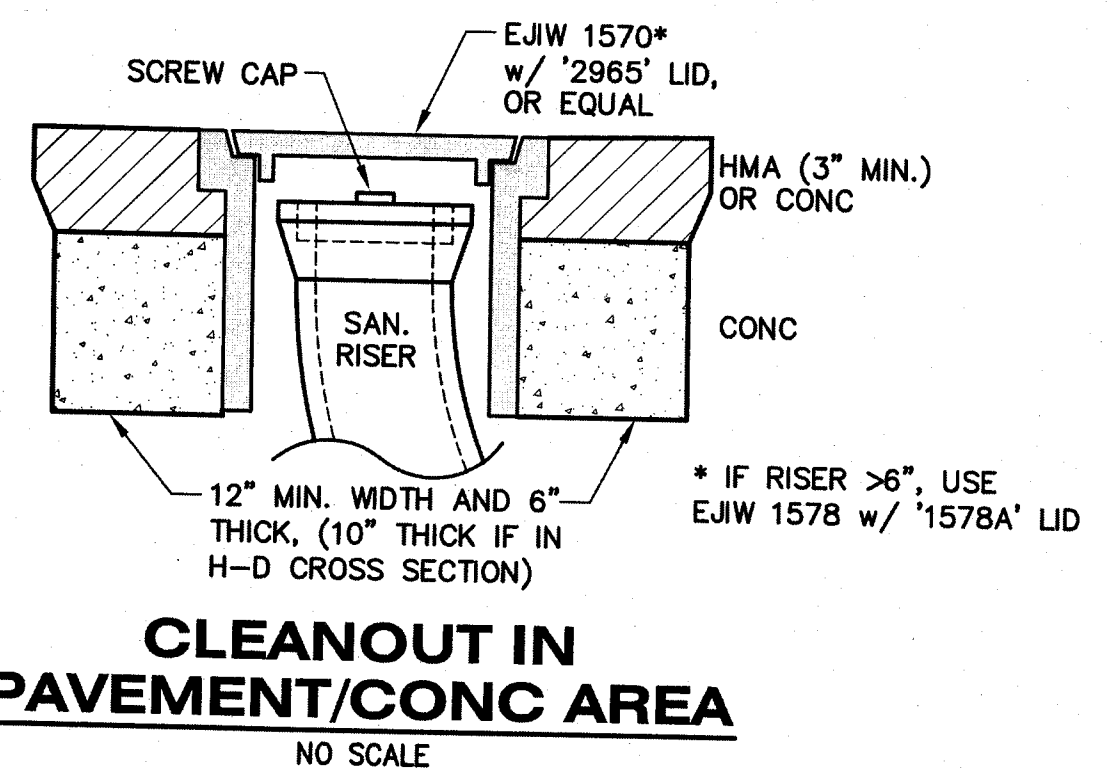


**PRIVACY FENCE ELEVATION DETAIL**  
NOT TO SCALE

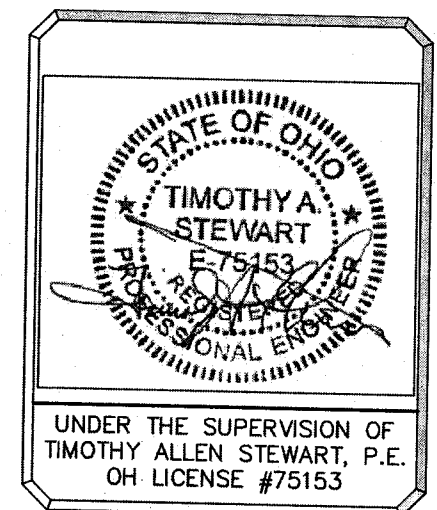
IF AN UNOBSTRUCTED VIEW EXISTS OF A RESIDENTIAL BUILDING BETWEEN TENANT PARCEL AND ADJACENT PARCEL, THEN LESSOR SHALL CONSTRUCT A PRIVACY FENCE IN ACCORDANCE WITH TENANT'S PROTOTYPE CRITERIA SET PLANS AND ANY APPLICABLE GOVERNMENTAL REQUIREMENTS.

NOTE:

1. WOOD TO BE TREATED PINE. USE GALVANIZED NAILS FOR FASTENING. GALVANIZED NAILS FOR FASTENING.
2. NUMBER OF BOARDS WILL VARY DEPENDING ON SPACE BETWEEN BOARDS AND ACTUAL WIDTH OF BOARDS.



**CLEANOUT IN PAVEMENT/CONC AREA**  
NO SCALE



DETAILS

DOLLAR GENERAL - MASSILLON, OH (PARCEL 500343)  
CAPITAL GROWTH - BUCHALTER

Sheet Title:

Project:

Client:

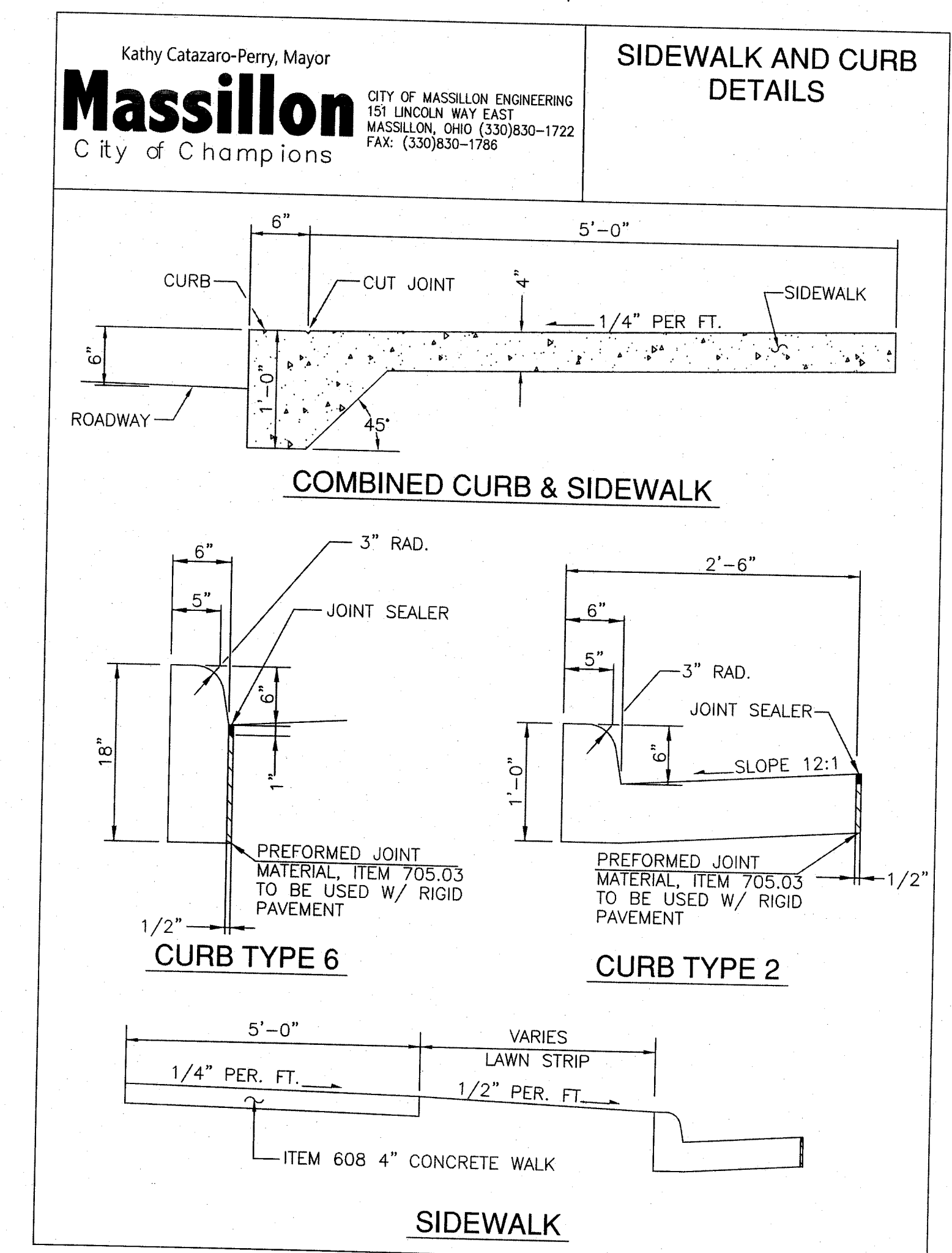
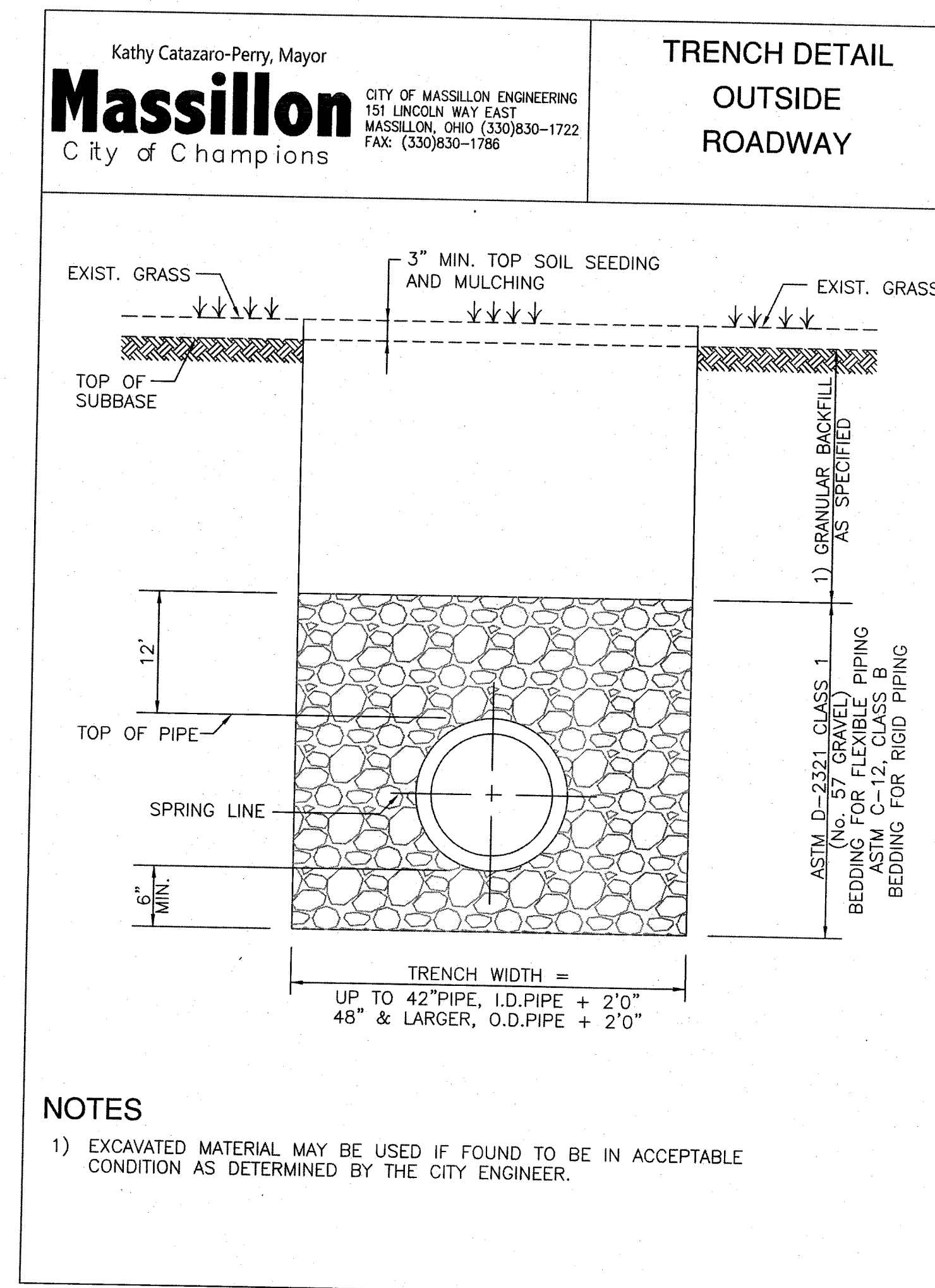
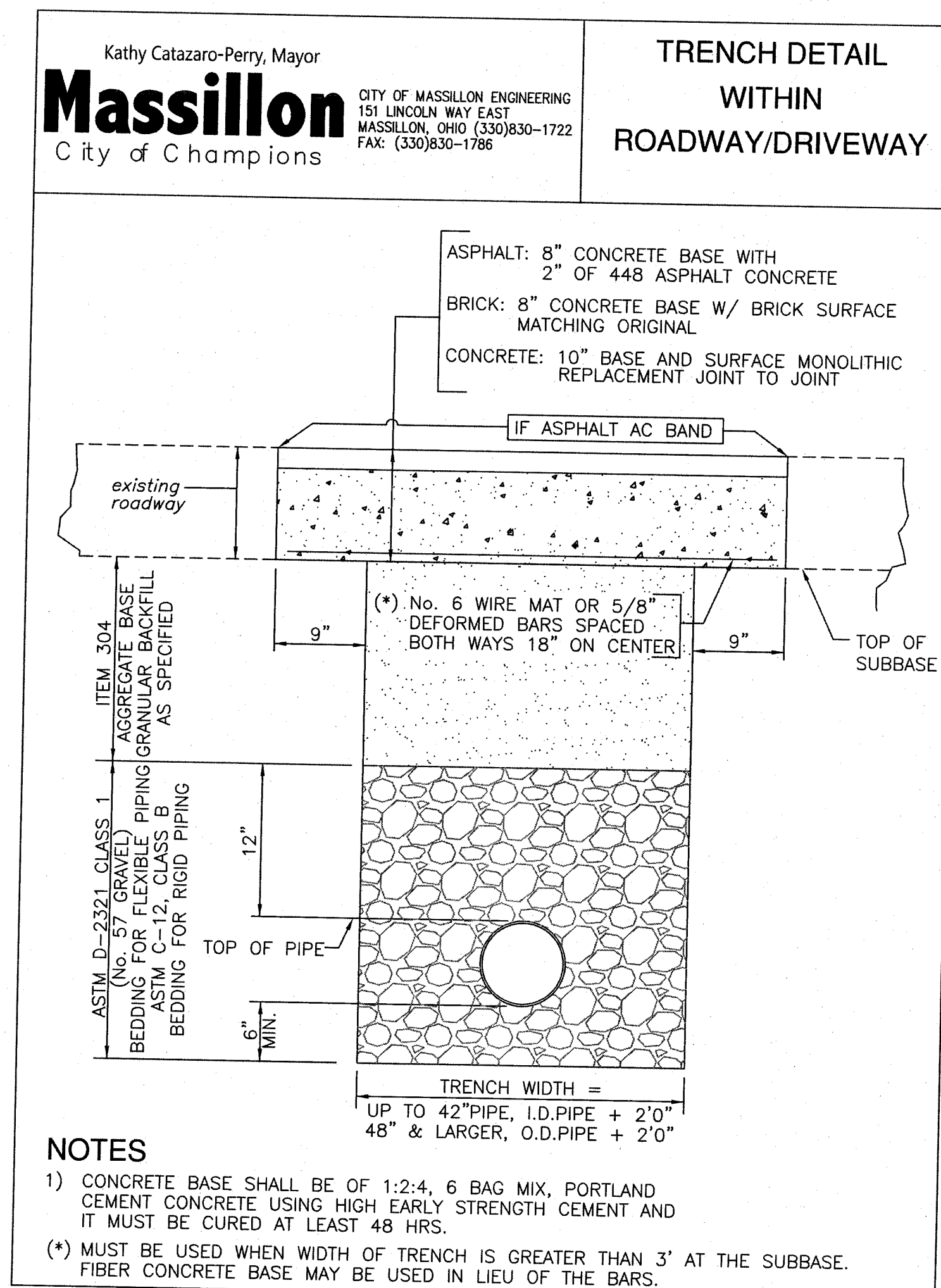
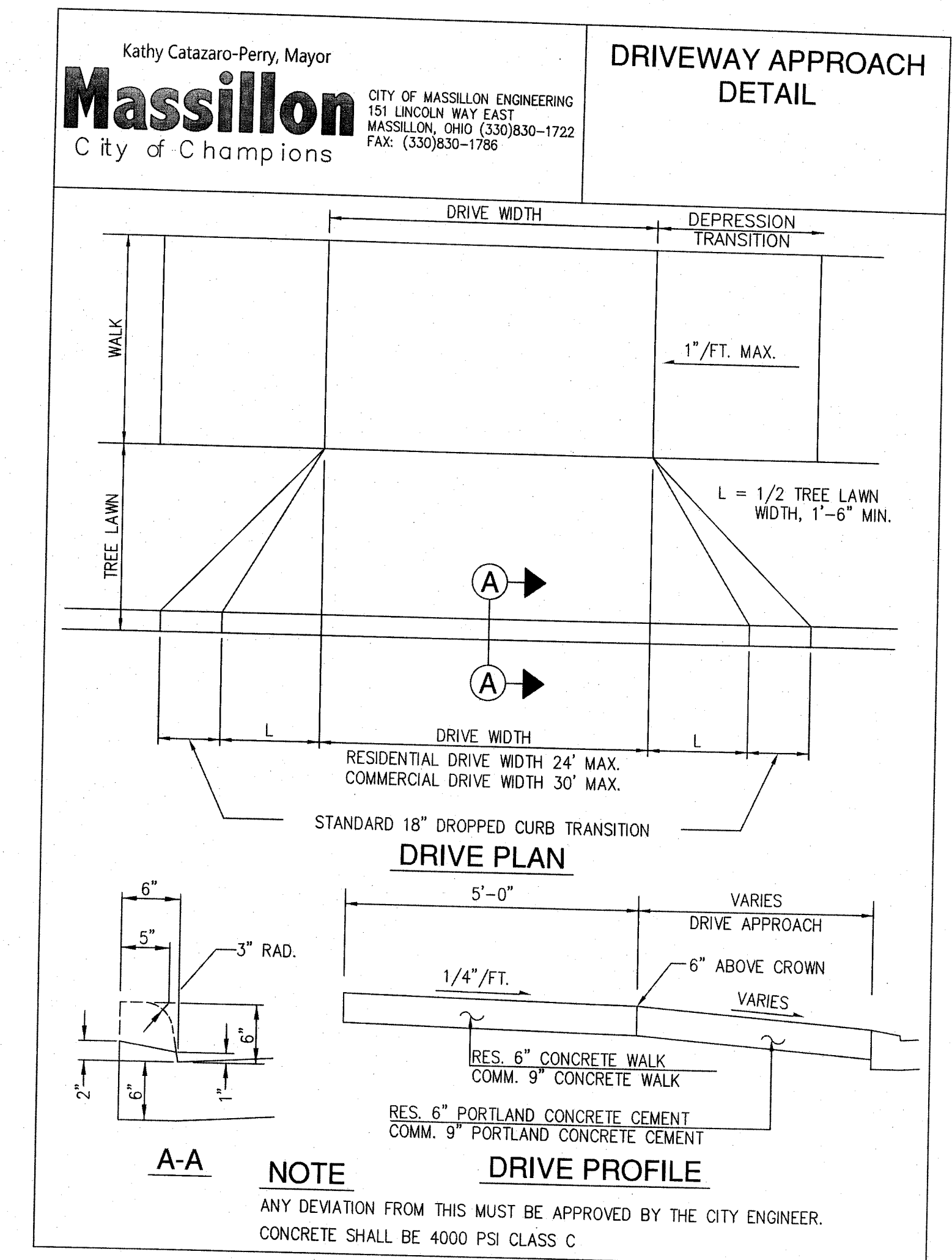
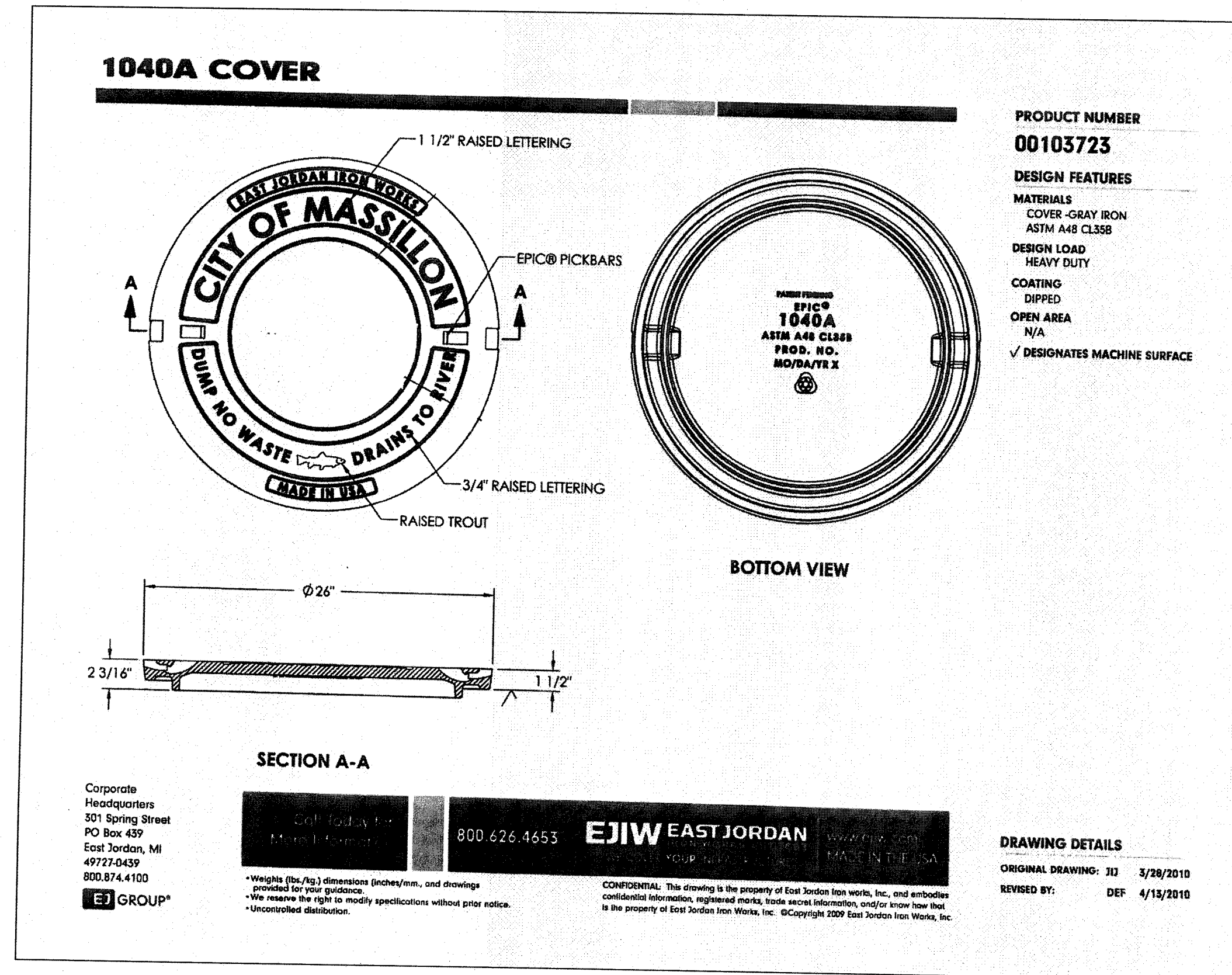
4/25/14  
Sheet

C-6

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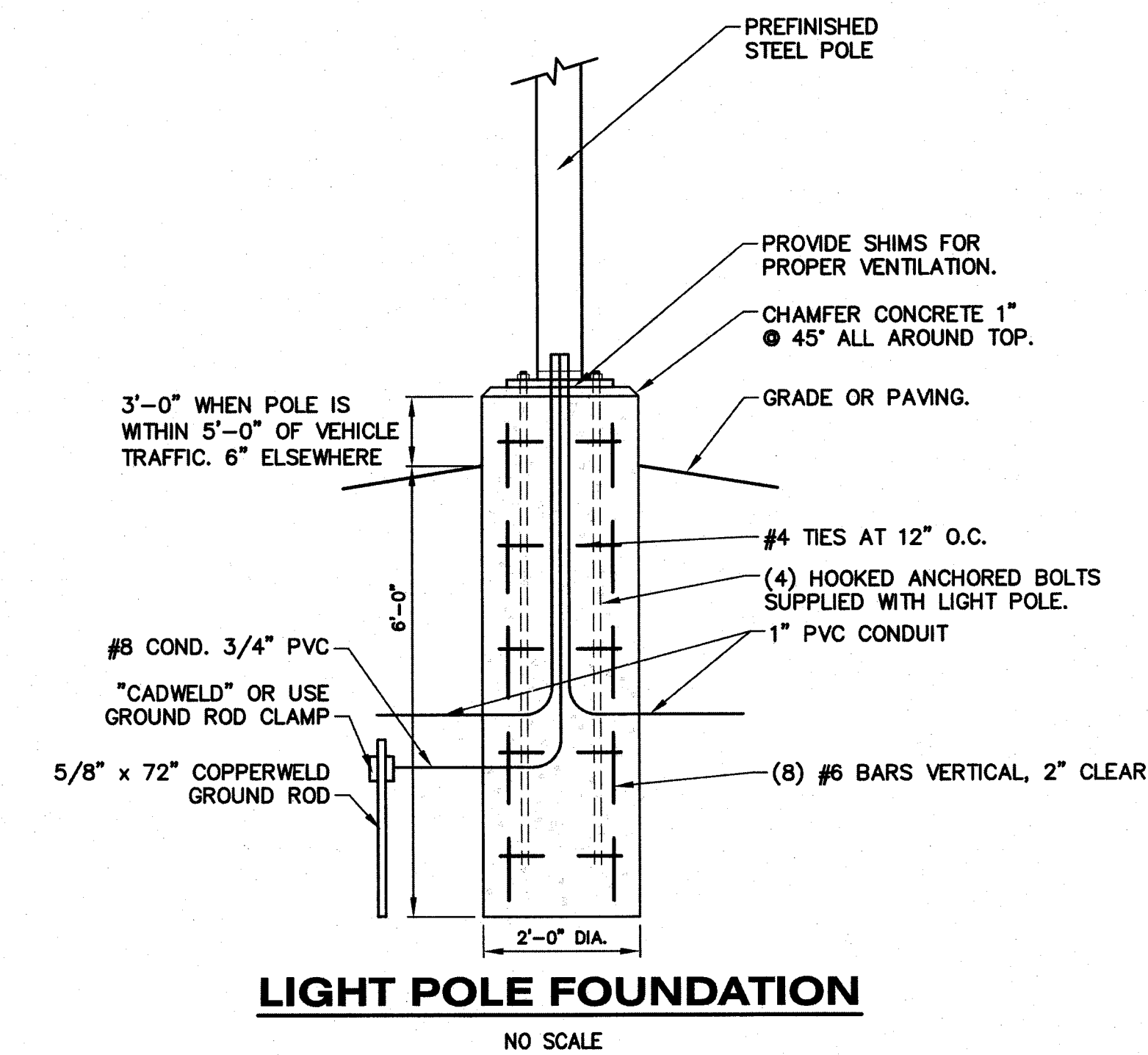
**#1**  
hurley & stewart

Job No. 14-003B	P.M. BC	Draft: ---	QA/QC: 4/25/14
ISSUED FOR/REVISIONS:			
1 SITE PLAN SUBMITTAL	3/11/14		
2 ODOT MR 505 APPLICATION	3/28/14		
3 REVISIONS PER ODOT COMMENTS	4/14/14		
4 REVISIONS PER CITY COMMENTS	4/25/14		

**CITY OF MASSILLON DETAILS**  
**DOLLAR GENERAL - MASSILLON, OH (PARCEL 500343)**  
**CAPITAL GROWTH - BUCHALTER**

Sheet Title:  
Project:  
Client:  
4/25/14  
Sheet  
**C-7**





Calculation Summary					
Label	CalcType	Units	Avg	Max	Min
Parking Lot CalcPts	Illuminance	Fc	8.94	45.0	0.8
Site CalcPts	Illuminance	Fc	0.58	13.1	0.0

BOM Schedule		
Qty	Part Number	Description
5	MFHID-WPF-400MH	400W Full Cutoff Wall Packs
1	MFHID-WPF-50PMH	50W Full Cutoff Wall Packs
6	MFHID-PLL-400MH	400W Parking Lot Lighting ***NOTE: DO NOT tilt fixtures up, keep at 0 degree horizontal plane.
3	HW-F188A	25' Parking Lot Pole
3	HW-HID-PLL-MB	Twin Tenon Mounting Bracket
6	HW-HID-PLL-SBL16	16" Housing Backlight Shield
4	MFHID-BH-400MH	400W Bull Horn Lighting
2	HW-HID-BH-MB	Bull Horn Mounting Bracket
2	HW-HID-PLL-RATMB	Bull Horn Right Angle Tenon Mounting Bracket

Luminaire Schedule						
Symbol	Qty	Label	Description	Arrangement	Lumens	LLF
5	5	MFHID-WPF-400PMH	400W Full Cutoff Wall Pack	SINGLE	44000	0.720
2	2	MFHID-BH-400MH	400W Bullhorn Flood Lights	TWIN	32000	0.720
7	7	Canopy Strips	Strip	SINGLE	2900	0.940
3	3	MFHID-PLL-400MH SBL Twin	Twin 400W Parking Lot Lighting w. SBL	TWIN	40000	0.720
1	1	MFHID-WPF-50PMH 12in	50W Full Cutoff Wall Pack	SINGLE	3400	0.720

Luminaire Location Summary			
Label	Fix. Ht.	Orient	Tilt
Canopy Strips	10	0	0
Canopy Strips	10	0	0
Canopy Strips	10	0	0
Canopy Strips	10	0	0
Canopy Strips	10	0	0
Canopy Strips	10	0	0
Canopy Strips	10	0	0
MFHID-WPF-400PMH	12	0	0
MFHID-WPF-400PMH	12	0	0
MFHID-WPF-400PMH	12	0	0
MFHID-WPF-50PMH 12in	12	180	0
MFHID-PLL-400MH SBL Twin	25	90	0
MFHID-PLL-400MH SBL Twin	25	90	0
MFHID-PLL-400MH SBL Twin	25	180	0
MFHID-WPF-400PMH	16.5	270	0
MFHID-WPF-400PMH	16.5	270	0
MFHID-BH-400MH	20	270	65
MFHID-BH-400MH	20	270	65

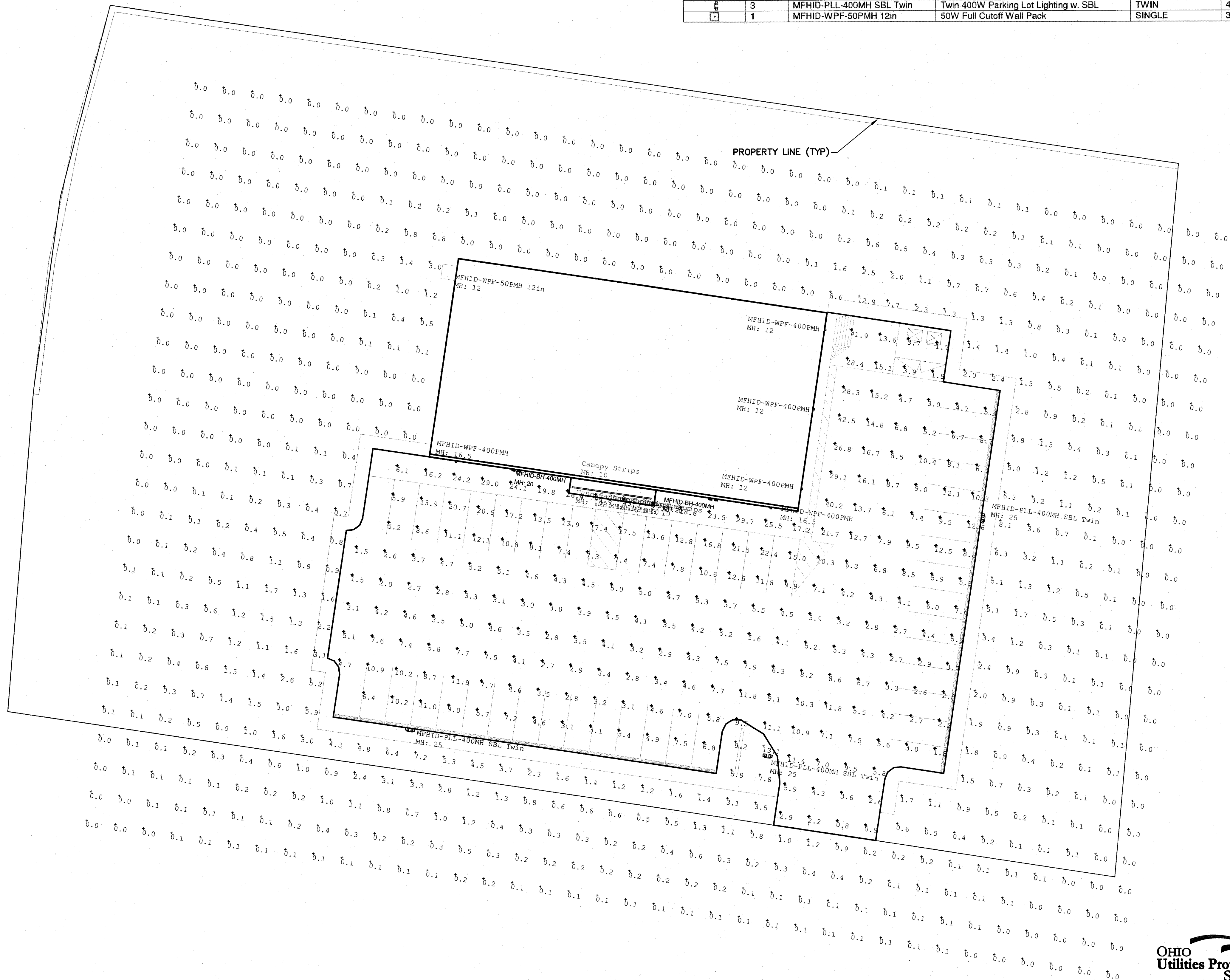
**LIGHTING PLAN BY:**



**Harris Lighting**  
4035 Reynolds Blvd.  
Green Cove Springs, FL 32043  
PH: 904-284-1220

#### UTILITY NOTES

- PROVIDE 1" BURIED CONDUIT FROM ELECTRICAL PANEL TO LOCATION OF THE SIGN BASE. A TEMPORARY 3' TALL STAKE SHALL BE PROVIDED AT THE SIGN LOCATION UNTIL THE SIGN IS PERMANENTLY INSTALLED.
- UNDERGROUND ELECTRICAL SHALL BE PROVIDED TO THE SITE LIGHT POLES.



ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.  
FIELD WORK PERFORMED BY:  
LANDTECH PROFESSIONAL SURVEYING

Job No. 14-003B P.M.BG Drft: --- 6A/QC: 4/25/14

ISSUED FOR REVISIONS:

Rev	Date	Description
1	3/11/14	SITE PLAN SUBMITTAL
2	3/28/14	ODOT MR 505 APPLICATION
3	4/14/14	REVISIONS PER ODOT COMMENTS
4	4/24/14	REVISIONS PER CITY COMMENTS

**LIGHTNING PLAN**  
**DOLLAR GENERAL - MASSILLON, OH (PARCEL 500343)**  
**CAPITAL GROWTH - BUCHALTER**

Sheet Title:  
Project:  
Client:

4/25/14  
Sheet

**L-1**

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DRAWING LOCATION: 14-003B P.M. BG Drift AS Q1, Q2, 4/25/14

NOTE:  
STAKING OF BALL AND BURLAP TREES REQUIRED  
AT THE DISCRETION OF THE CONTRACTOR.  
CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF  
ALL STAKING AT END OF ONE YEAR WARRANTY  
PERIOD.

PRUNE ANY BROKEN OR  
CROSSED OVER  
BRANCHES. DO NOT  
CUT TERMINAL LEADER.

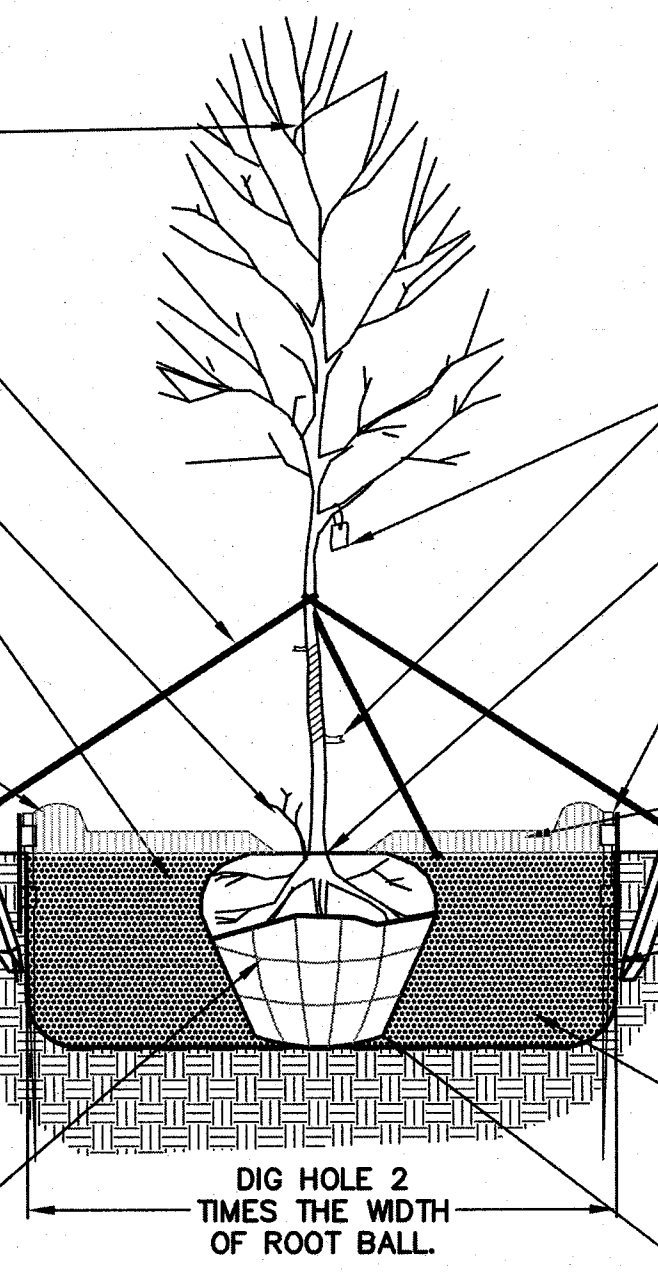
USE FLEXIBLE GUYS AND  
TIES WITH A BROAD  
SMOOTH SURFACE. TIE  
AT ONE THIRD FULL  
HEIGHT OF TREE. REMOVE  
AFTER ONE YEAR.

PRUNE SUCKERS AT  
ROOT BALL.  
ADD MYCORRHIZAL  
LANDSCAPE INOCULANT  
TO PLANTING HOLE WITH  
BACKFILL.

CREATE WATERING DISH  
WITH MULCH RING AT  
EDGE OF PLANTING HOLE.

3 - WOOD OR STEEL  
STAKES SIZED  
APPROPRIATELY TO  
STABILIZE TREE.

CUT AND REMOVE ALL  
WRAPPING INCLUDING  
TWINE, BURLAP AND WIRE  
CAGES FROM TOP ONE  
THIRD OF ROOT BALL.



REMOVE ANY TAGS,  
RIBBONS, OR PACKAGING  
FROM TREE BRANCHES  
AND TRUNK.

PLANT TREE SO TOP OF  
ROOT BALL IS LEVEL  
WITH EXISTING GRADE.

TREES LOCATED IN SOD  
AREAS SHALL HAVE A  
MULCH RING AROUND  
THEM WITH STEEL EDGING

3" HARDWOOD MULCH.  
LEAVE 3" RING  
UNMULCHED AT TREE  
BASE.

SCARIFY EDGES OF  
PLANTING HOLE PRIOR  
TO BACKFILLING.

BACKFILL WITH 1/3  
MANURE, 1/3 COMPOST,  
AND 1/3 NATIVE SOIL.  
USE WATER TO SETTLE OUT  
VOIDS IN BACKFILLED SOIL.

PLACE ROOT BALL ON  
UNDISTURBED SOIL.

## DECIDUOUS TREE

NOT TO SCALE

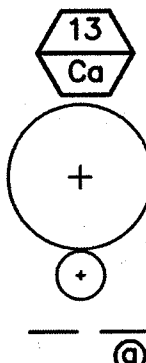
### LANDSCAPE NOTES:

1. TILL ALL LANDSCAPE AREAS TO A DEPTH OF 4" MINIMUM.
2. ALL LAWN AREAS LABELED "SEED" SHALL BE SEEDED AND MULCHED WITH THE FOLLOWING MIXTURE: 15% IMPROVED PERENNIAL RYEGRASS, 30% FINE FESCUE, 30% KENTUCKY BLUEGRASS, AND 25% ANNUAL RYE AT A RATE OF 8-10 LBS/1000 SFT. PROVIDE 19-19-19 STARTER FERTILIZER AT A RATE OF 5-7 LBS/1000 SFT.
3. AREAS LABELED "SOD" TO BE PLANTED WITH UPLAND MINERAL SOIL GROWN BLUEGRASS SOD. SOD TO HAVE BEEN HARVESTED WITHIN 24 HOURS OF PLANTING. ENSURE A SOURCE OF WATER BEFORE SCHEDULING SOD PLANTING. PREPARE SOIL TO RECEIVE SOD WITH A 19-19-19 STARTER FERTILIZER AT A RATE OF 5-7 LBS/1000 SFT.
4. PROVIDE QUALITY, SIZE, GENUS, SPECIES, AND VARIETY OF EXTERIOR PLANTS INDICATED, COMPLYING WITH APPLICABLE REQUIREMENTS IN ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK." MEASURE ACCORDING TO ANSI Z60.1 STANDARDS.
5. ALL PLANTINGS SHALL BE THOROUGHLY WATERED BY THE LANDSCAPE CONTRACTOR AT THE TIME OF PLANTINGS.
6. WARRANT TREES FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL.
7. REMOVE AND REPLACE DEAD PLANTS IMMEDIATELY. REPLACE PLANTS THAT ARE MORE THAN 25% DEAD OR IN AN UNHEALTHY CONDITION AT END OF WARRANTY PERIOD. A LIMIT OF ONE REPLACEMENT OF EACH PLANT WILL BE REQUIRED, EXCEPT FOR LOSSES OR REPLACEMENTS DUE TO FAILURE TO COMPLY WITH REQUIREMENTS.
8. MAINTAIN TREES FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION BY PRUNING, CULTIVATING, WATERING, WEEDING, FERTILIZING, RESTORING PLANTING SAUCERS, TIGHTENING AND REPAIRING STAKES AND GUY SUPPORTS, AND RESETTling TO PROPER GRADES OR VERTICAL POSITION, AS REQUIRED TO ESTABLISH HEALTHY VIABLE PLANTINGS. SPRAY AS REQUIRED TO KEEP TREES FREE OF INSECTS AND DISEASE.
9. BEGIN LAWN MAINTENANCE IMMEDIATELY AFTER EACH AREA IS PLANTED AND CONTINUE UNTIL ACCEPTABLE LAWN IS ESTABLISHED: A MINIMUM OF 60 DAYS AFTER SUBSTANTIAL COMPLETION.
10. MAINTAIN AND ESTABLISH LAWN BY WATERING, FERTILIZING, WEEDING, USING CHEMICAL TREATMENT TO ELIMINATE BROADLEAF AND NOXIOUS WEEDS, MOWING, TRIMMING, REPLANTING, AND OTHER OPERATIONS. ROLL, REGRADE, AND REPLANT BARE OR ERODED AREAS AND REMULCH TO PRODUCE A UNIFORMLY SMOOTH LAWN.
11. PROTECT ADJACENT AND ADJOINING STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND PLANTINGS FROM HYDROSEEDING OVER-SPRAY AND DAMAGE CAUSED BY PLANTING OPERATIONS.
12. REMOVE STONES LARGER THAN 1" IN ANY DIMENSION AND REMOVE STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER FROM SITE.
13. MAINTAIN LAWN UNTIL A HEALTHY, UNIFORM, CLOSE STAND OF GRASS HAS BEEN ESTABLISHED, FREE OF WEEDS AND SURFACE IRREGULARITIES, WITH COVERAGE EXCEEDING 90% OVER ANY 10 SQFT AND BARE SPOTS DO NOT EXCEED 5 BY 5 INCHES.

### IRRIGATION NOTES:

1. ALL LANDSCAPE AREAS AND LAWNS ADJACENT TO PAVED AREAS AND/OR STREETS ARE TO BE FULLY IRRIGATED.
2. IRRIGATION SYSTEM TO INCLUDE ALL SPRAY HEADS, VALVES AND CONTROLLERS.
3. A SEPARATE METER AND BACKFLOW PREVENTER WILL BE REQUIRED.
4. LOCATE HEADS A MINIMUM OF 2'-0" FROM EDGE OF PAVEMENT/ CURB.

### LEGEND



NUMBER AND TYPE OF PLANTS TO BE PROVIDED  
AND INSTALLED.

PROPOSED DECIDUOUS TREE

PROPOSED DECIDUOUS SHRUB

STEEL LANDSCAPE EDGING.

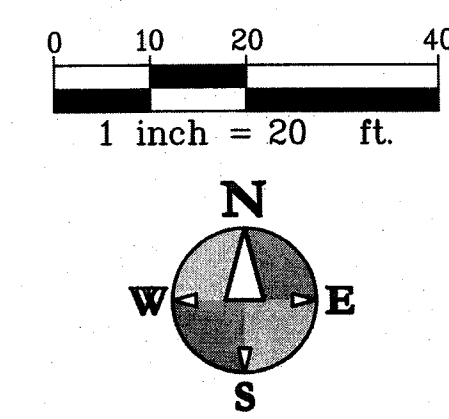
LANEDALE AVE. N.W.  
(WIDTH VARIES, PUBLIC)

N04°49'22"E 111.46' (R&M)

LINCOLN ST. W. (SR-172)  
(WIDTH VARIES, PUBLIC)

### Planting Schedule Trees

Symbol	Latin Name	Common Name	Size	Container Type	Comments
Ac	Abies concolor	Concolor Fir	5' Ht.	B&B	Sheared well shaped
Cc	Cercis canadensis	Redbud	1" Cal.	B&B	4' min height
Gt	Gleditsia triacanthos inermis 'Suncolor'	Sunburst Honeylocust	8' Ht.	B&B	
Qc	Quercus coccinea	Scarlet Oaks	8' Ht.	B&B	
Fc	Forsythia x 'Cortasol'	Gold Tide Forsythia	#5	Cont.	3' min spread



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DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE  
RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE  
EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY  
ARE THE ONLY UTILITIES IN THE AREA.  
FIELD WORK PERFORMED BY:  
LANDTECH PROFESSIONAL SURVEYING

LANDSCAPE PLAN  
DOLLAR GENERAL - MASSILLON, OH (PARCEL 500343)  
CAPITAL GROWTH - BUCHALTER

Sheet Title:  
Project:  
Client:  
4/25/14  
Sheet  
L-2

Job No: 14-003B P.M. BG Drift AS Q1, Q2, 4/25/14  
ISSUED FOR REVISIONS:  
1 SITE PLAN SUBMITTAL 9/11/14  
2 ODOT MR 505 APPLICATION 3/28/14  
3 REVISIONS PER ODOT COMMENTS 4/14/14  
4 REVISIONS PER CITY COMMENTS 4/24/14  
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DRAWING LOCATION: H:\14-003B (DG Massillon, OH (Lincoln - Laredo))\FINAL DRAWINGS\1-1 Irrigation Plan.dwg LAST SAVED BY: BGILLESPIE ON 3/11/2014

It is the responsibility of the irrigation contractor to be familiar with all grade differences, locations of walls, structures and utilities and make the necessary adjustments to accommodate the irrigation system as shown on the drawings. There may be times when it is obvious in the field that unknown obstructions, grades or dimensions that exist might not have been considered in the engineering, such obstructions should be brought to the attention of the owner's authorized representative. In the event that this notification is not performed, the irrigation contractor shall assume full responsibility for any revisions and costs that occur.

3. Mainline shall be buried a minimum of 12" of cover and a maximum of 18" of cover. Lateral line piping a minimum of 12" of cover. All backfill surrounding the pipe shall be cleaned of materials larger than 1" in size. Backfill shall be added in 6" increments and mechanically tamped.

5. System design is based on pressure and flow information provided by others, static pressure was given as 70 psi and the size of the P.O.C. is as indicated on the drawing. The irrigation contractor shall verify water pressures prior to construction. Report differences between requirements and the actual readings to the owner's representative. A booster pump may be necessary if the required pressure is not available. Additional costs shall be submitted to the owner as a change order.

7. All valves shall be placed in valve boxes as shown in the details and all electrical connections shall be sealed with waterproof connectors. Control wire shall be solid copper wire U.L. approved for direct burial in the ground. See details.

9. The Irrigation Contractor is responsible for all clean up associated with his work.

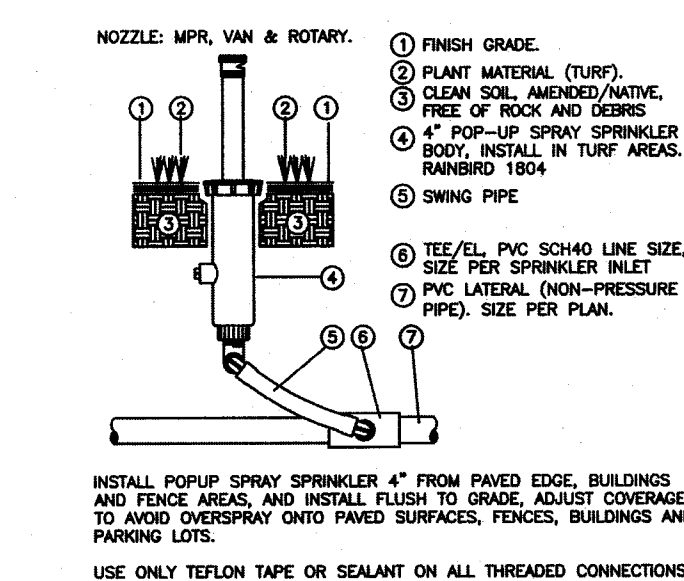
**WALL MOUNT:**

- INSIDE WALL CLOSEST TO OUTSIDE LAND & PLANTER AREAS.
- FLOOR INSIDE BUILDING.
- ON RECEPTACLE AND LOCKING SWITCH. 110V POWER SOURCE FOR IRRIGATION TIMER. SEE LOCAL CODE.
- IRRIGATION CONTROLLER. MOUNT ON INSIDE WALL OF BUILDING. INSTALL WITH PVC ELECTRICAL CONDUIT (GRAY), WITH LONG SWEET ELBOWS.
- LONG SWEET ELBOW, ELECTRICAL CONDUIT (GRAY) SCH40 PVC. SEE ELECTRIC CODE.
- WALL BRACKET STAND OFF TO ANCHOR CONDUIT TO WALL OF BUILDING.
- ELECTRICAL CONDUIT (GRAY) SIZE 1" FOR 110V POWER SUPPLY. SEE LOCAL ELECT. CODES.
- ELECTRIC CONDUIT (GRAY) SCH40, FOR LOW VOLTAGE IRRIGATION CONTROL WIRE. TO REMOTE CONTROL ZONE VALVE. SIZE TWICE THE SIZE OF WIRE BUNDLE.
- RAINBIRD ESP CONTROLLER

RAINBIRD

05/17/10

1. ALL LANDSCAPE AREAS AND LAWNS ADJACENT TO PAVED AREAS AND/OR STREETS ARE TO BE FULLY IRRIGATED.
2. IRRIGATION SYSTEM TO INCLUDE ALL SPRAY HEADS, VALVES AND CONTROLLERS.
3. A SEPARATE METER AND BACKFLOW PREVENTER WILL BE REQUIRED.
4. LOCATE HEADS A MINIMUM OF 2'-0" FROM EDGE OF PAVEMENT/ CURB.



① WRC RECEIVER  
② MODEL WRC2  
③ GUTTER OR WALL MOUNT

30-INCH LINEAR LENGTH OF WHITE PVC PIPE

COLLECTOR

WATER PROOF CONNECTION (1 OF 2)

ID TAG

VALVE BOX WITH COVER: 12-INCH SIZE

FINISH GRADE/TOP OF MULCH

REMOTE CONTROL VALVE: RAIN BIRD 24

PVC SCH 80 NIPPLE (CLOSE)

PVC SCH 40 ELL

PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)

BRICK (1 OF 4)

HIDDEN) AND SCH 40 ELL

PVC MAINLINE PIPE

PVC SCH 40 TEE OR ELL

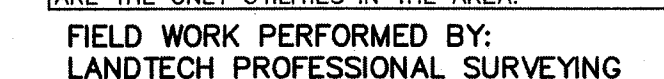
PVC SCH 40 MALE ADAPTER

PVC LATERAL PIPE


3.0-INCH MINIMUM DEPTH OF MULCH

3" MIN.

## Backflow Preventer



-1

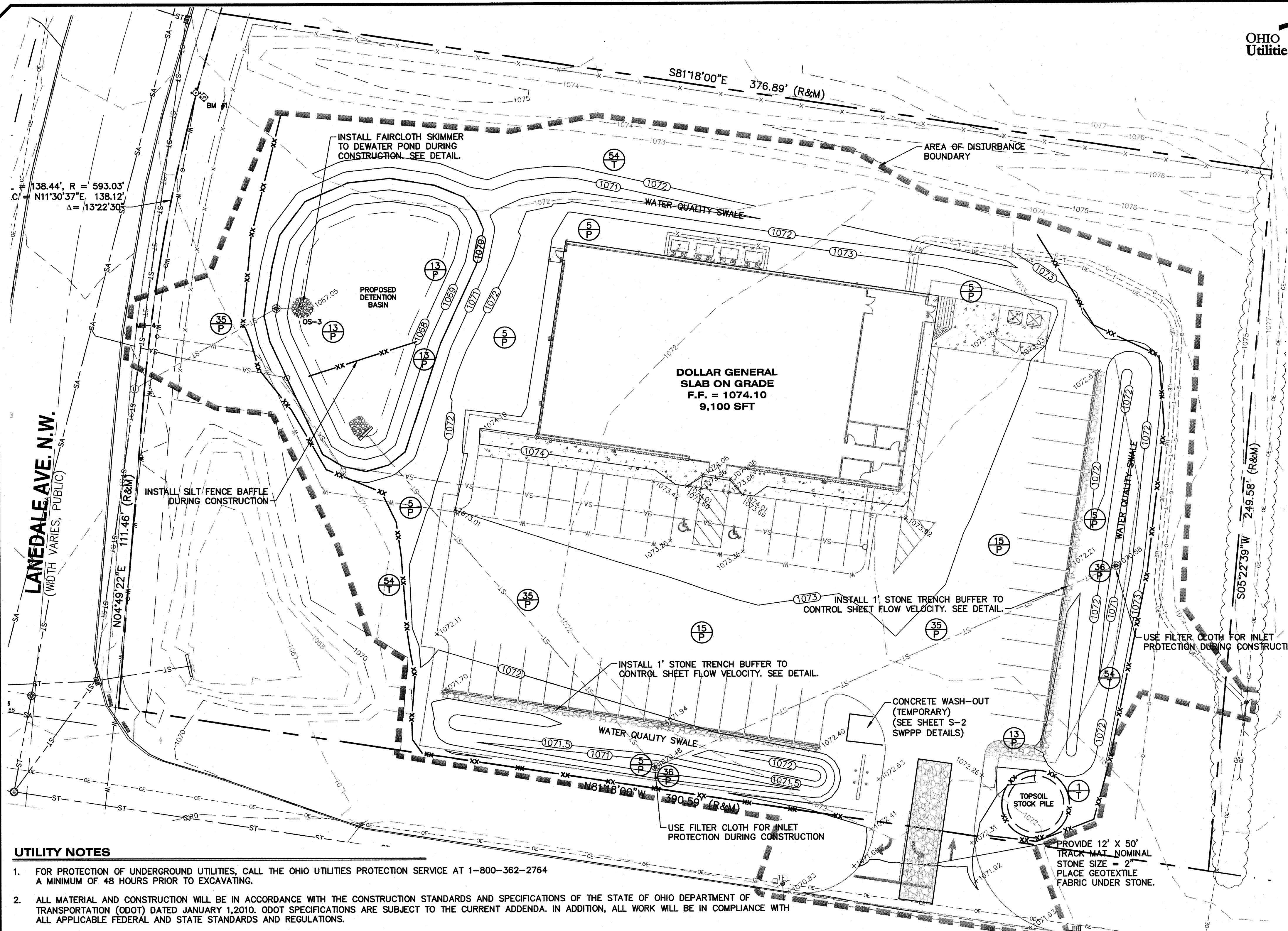


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ISSUED FOR/REVISIONS:	
1	SITE PLAN SUBMITTAL 3/11/14
2	ODOT MR 505 APPLICATION 3/28/14
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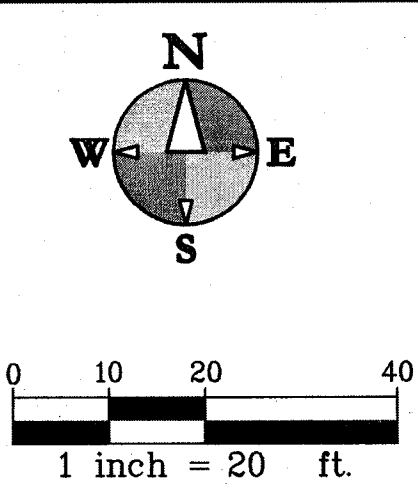




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FIELD WORK PERFORMED BY:  
LANDTECH PROFESSIONAL SURVEYING



**SITE AREA:**

TOTAL SITE AREA: 2.22 ACRES  
TOTAL DISTURBED AREA: 1.72 ACRES

**SITE SOILS:**

SITE CLASSIFICATION "D"  
SANDY SILT  
USCS CLASSIFICATION: SM AND ML

**PROJECT DESCRIPTION**

THE PROJECT IS LOCATED ON THE WEST SIDE OF MASSILLON NEAR THE CITY LIMITS, ON THE NORTHEAST CORNER OF LINCOLN STREET W. (SR-172) AND LANEDALE AVENUE NW. THE 1.78 ACRE DEVELOPMENT CONSISTS OF APPROXIMATELY 0.80 ACRES OF IMPERVIOUS AREA. THE CONSTRUCTION SITE AREA TO BE DISTURBED IS 1.37 ACRES. THE SITE WILL CONTAIN A 9,100 SFT BUILDING AND WILL BE CONSTRUCTED AS A ONE-STORY, STEEL FRAMED, SLAB-ON-GRADE. THE BUILDING WILL BE POSITIONED NEAR MIDDLE OF THE SITE WITH PARKING IN THE FRONT (SOUTH) AND TO THE EAST SIDE OF THE SITE. STORMWATER WILL BE DETAINED IN A DETENTION BASIN AND EVENTUALLY INTO THE EXISTING STORM SEWER LOCATED ALONG LANEDALE AVENUE NW THROUGH A SERIES OF GRASS SWALES, CATCH BASIN AND STORM PIPES. THE DEVELOPMENT PROCESS INCLUDES UNDERGROUND UTILITIES, PAVING, AND THE CONSTRUCTION OF A BUILDING. STORMWATER BEST MANAGEMENT PRACTICES (BMP'S) WILL BE FOLLOWED FOR THE DURATION OF THE PROJECT. THE SITE LATITUDE AND LONGITUDE ARE APPROXIMATELY 40.798210° N AND -81.596355° W, RESPECTIVELY.

**GRADING - SESC NOTES**

1. MATCH EXISTING GRADES AROUND PERIMETER WITH SLOPES AS SHOWN.
2. ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT GRADES AT EDGE OF METAL (EOM) UNLESS OTHERWISE NOTED.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPROVED SOIL EROSION CONTROL PLAN AND THE PERMIT AS ISSUED BY STARK COUNTY. SOIL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO MASS GRADING.
4. ALL EXCAVATION AND SITE PREPARATION SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEERING REPORT, TERRACON PROJECT NO. N4125110 ISSUED JULY 26, 2012.
5. ALL EXISTING ELEVATIONS ARE TO BE VERIFIED AND ACCEPTED AS SHOWN PRIOR TO COMMENCEMENT OF WORK.
6. CONTRACTOR SHALL TAKE PRECAUTIONS TO AVOID TRACKING SOIL ONTO ADJACENT ROADWAYS. SCRAPE ROAD AT THE END OF EACH WORKDAY AND SWEEP AT LEAST ONCE A WEEK.
7. ANY DISTURBED AREA THAT WILL BE LEFT UNWORKED 5 DAYS OR LONGER MUST BE SEEDED AND MULCHED OR SODDED TO ESTABLISH VEGETATION FOR TEMPORARY STABILIZATION. BASINS TO BE SEEDED AND MULCH BLANKETS APPLIED IMMEDIATELY TO PROVIDE A STABLE BASE AND AVOID EXCESSIVE EROSION.
8. STRAW MULCH BLANKETS SHALL BE USED ON 3:1 SLOPES OR GREATER. ALL SLOPES ON SITE SHALL BE 4:1 OR LESS, UNLESS OTHERWISE DIRECTED BY ENGINEER.
9. ROAD RIGHTS-OF-WAY MUST BE STABILIZED WITH SEED AND MULCH WITHIN 5 DAYS OF COMPLETING UTILITY WORK IN THE RIGHT-OF-WAY.
10. AREAS OF EARTH CHANGE THAT ARE DISTURBED BEYOND THE FALL SEEDING DEADLINE (NOV. 1) MUST BE TEMPORARILY STABILIZED WITH A MINIMUM OF STRAW MULCH SECURELY CRIMPED TO THE GROUND.
11. ACCUMULATED SEDIMENT TO BE REMOVED FROM STORM SYSTEM UPON COMPLETION OF CONSTRUCTION. ALL TEMPORARY CONTROLS TO BE REMOVED AFTER SITE IS STABILIZED AND VEGETATION ESTABLISHED. DETENTION.
12. SEE SHEET L-1 FOR PERMANENT AND TEMPORARY SEEDING NOTES.
13. SEE SHEET L-1 FOR BEST MANAGEMENT PRACTICES AND CONSTRUCTION SEQUENCE SCHEDULE.
14. THE CONTRACTOR SHALL PREVENT AND/OR REDUCE AND CONTROL SOIL EROSION RESULTING FROM THE PROPOSED IMPROVEMENTS. THE USE OF SILT FENCING, JUTE MATTING, TEMPORARY SEEDING, SILT CHECKS, INLET PROTECTION AROUND ALL CATCH BASINS, STABILIZED CONSTRUCTION ENTRANCE(S), ETC. WILL BE REQUIRED. SEDIMENT CONTROL STRUCTURES/DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL RAINWATER AND LAND DEVELOPMENT - OHIO'S STANDARDS FOR STORM WATER MANAGEMENT, LAND DEVELOPMENT AND URBAN STREAM PROTECTION. SEDIMENT CONTROL DEVICES MUST BE INSTALLED PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTINUED INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL DEVICES. THE CONTRACTOR SHALL FOLLOW THE REQUIREMENTS SET FORTH ON THE APPROVED STORM WATER POLLUTION PREVENTION PLAN IF APPLICABLE, OR AS DETAILED ON THE CONSTRUCTION PLANS, AS SPECIFIED BY THE CITY OF MASSILLON.
15. GRASS SWALES CANNOT BE ELIMINATED AS THEY ARE POST-CONSTRUCTION WATER QUALITY DEVICES FOR THIS SITE.
16. AN APPROVED PLAN & PRE-CONSTRUCTION MEETING ARE REQUIRED BEFORE ANY EARTHMOVING IS STARTED. CONTACT THE STARK COUNTY SWCD AT 330-830-7700, EXT. 127 WITH ANY QUESTIONS.

**UTILITY NOTES**

1. FOR PROTECTION OF UNDERGROUND UTILITIES, CALL THE OHIO UTILITIES PROTECTION SERVICE AT 1-800-362-2764 A MINIMUM OF 48 HOURS PRIOR TO EXCAVATING.
2. ALL MATERIAL AND CONSTRUCTION WILL BE IN ACCORDANCE WITH THE CONSTRUCTION STANDARDS AND SPECIFICATIONS OF THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION (ODOT) DATED JANUARY 1,2010. ODOT SPECIFICATIONS ARE SUBJECT TO THE CURRENT ADDENDA. IN ADDITION, ALL WORK WILL BE IN COMPLIANCE WITH ALL APPLICABLE FEDERAL AND STATE STANDARDS AND REGULATIONS.
3. ALL BEDDING MATERIAL TYPES ARE TO BE PER ODOT SPEC. 603.06.
4. ALL BACKFILL MATERIAL TYPES ARE TO BE PER ODOT SPEC. 603.10.
5. GRANULAR MATERIAL OR CDF SHALL BE USED FOR BACKFILLING ALL TRENCHES UNDER PAVEMENT AND/OR ANY PORTION OF THE TRENCH THAT IS WITHIN 5 FT. OF THE PAVEMENT EDGE OR CURB. PAVEMENT SHALL INCLUDE BUT IS NOT LIMITED TO; ROADWAYS, SIDEWALKS, SERVICE WALKS, DRIVEWAY APPROACHES, PARKING LOTS OR ANY PROPOSED PAVED SURFACE.
6. SOIL EROSION AND SEDIMENTATION BEST MANAGEMENT PRACTICE (BMP) MEASURES WILL BE INSTALLED PRIOR TO START OF ANY CONSTRUCTION AND WILL BE MAINTAINED AT ALL TIMES UNTIL CONSTRUCTION HAS BEEN COMPLETED, INCLUDING ALL GRASS BEING WELL ESTABLISHED AND/OR PERMANENT EROSION AND SEDIMENTATION BMP MEASURES ARE IN PLACE.
7. CONTRACTOR IS TO DESIGNATE A SITE DUMP/WASH AREA PRIOR TO STARTING CONSTRUCTION FOR SUCH PURPOSES AS WASHING OUT CONCRETE TRUCKS AND DUMPING NON-HAZARDOUS WASTE MATERIALS. DUMPING OR DISCHARGE OF ANY WASTE MATERIALS TO ANY SEWERS IS PROHIBITED. HAZARDOUS WASTES ARE TO BE REMOVED OFF SITE AND PROPERLY DISPOSED OF CONSISTENT WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS.
8. COORDINATE ALL UTILITY LOCATIONS AND ELEVATIONS WITH MECHANICAL DRAWINGS AND BUILDING CONTRACTOR PRIOR TO INSTALLATION.
9. REMOVE SEDIMENT FROM ALL STRUCTURES ONCE PAVING IS COMPLETE AND REMOVE SILT SACKS.
10. SANITARY SEWER MATERIALS AND INSTALLATION SHALL COMPLY WITH THE OHIO EPA AND STARK COUNTY REQUIREMENTS. COORDINATE WORK AND INSPECTIONS WITH THE OHIO EPA AND STARK COUNTY.
11. WATER SUPPLY MATERIALS AND INSTALLATION SHALL COMPLY WITH THE OHIO EPA REQUIREMENTS AND SPECIFICATIONS.
12. CONTRACTOR TO COORDINATE PRIVATE UTILITY CONNECTIONS WITH UTILITY COMPANIES.
13. PLACE SANITARY CLEANOUT EVERY 100' AND/OR AT BENDS ON ALL 6" SANITARY SEWER LEADS.
14. ALL STRUCTURE CASTINGS TO BE EAST JORDAN IRON WORKS OR APPROVED EQUAL. SEE STRUCTURE TABLE FOR SPECIFIC CASTING AT EACH STRUCTURE.
15. THE CONTRACTOR SHALL INSTALL PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
16. CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR GROUNDWATER AND SOILS INFORMATION. ANY UTILITIES REQUIRING DEWATERING SHALL BE INSTALLED TO STARK COUNTY STANDARDS AND INCLUDED IN THE INSTALLATION COSTS. CONTRACTOR IS RESPONSIBLE FOR ALL DEWATERING NECESSARY TO CONSTRUCT UTILITIES IN THE DRY.
17. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
18. ADS FLEXSTORM INLET FILTERS ARE TO BE INSTALLED IN EACH CATCH BASIN WITHIN THE PARKING AREA. COORDINATE FILTER MODEL AND INSTALLATION METHOD WITH MANUFACTURER.

**SOIL EROSION AND SEDIMENTATION CONTROL MEASURES**

KEY	DETAIL	CHARACTERISTICS
1	Stripping & Stockpiling Topsoil	Topsoil may be stockpiled above borrow areas to act as a diversion. Stockpile should be temporarily seeded.
5	Grass Water Quality Swale	Grass water quality swales are designed to filter sediment and pollutants from runoff. They are typically installed in areas where runoff is concentrated, such as near buildings or parking areas.
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**STORM SEWER STRUCTURE SCHEDULE**

STR. #	RIM EL.	DIAM.	CASTING	PIPES IN:	PIPES OUT
CB-1	1070.58	4'	5105 M1		12" SW: 1068.15
CB-2	1070.48	4'	5105 M1	12" NE: 1067.56	15" NW: 1067.56
MH-5	1069.81	4'	1040	12" NE: 1066.80 EX 12" N: 1066.80	EX 12" S: 1066.80
OS-3	1068.74	4'	6508		8" W: 1067.05
OS-4	1069.17	4'	6508	8" E: 1067.02	12" SW: 1067.02

\*SEE SHEET C-5 FOR OUTLET CONTROL STRUCTURE DETAILS

THE OVERALL SEDIMENT AND EROSION CONTROL SCHEME IS DESIGNED TO PREVENT POLLUTED RUNOFF FROM LEAVING THE SITE BOUNDARIES OR ENTERING THE EXISTING STORM SYSTEM DURING CONSTRUCTION. SILT FENCE IS IMPLEMENTED AT ALL CONSTRUCTION PERIMETERS AND THE TOPSOIL STOCK PILE AREA.

**SWPPP NOTES**

WATER QUALITY WILL BE ADDRESSED THROUGH THE INSTALLATION OF GRASS WATER QUALITY SWALES.

I, THE UNDERSIGNED, CERTIFY THAT I UNDERSTAND AND WILL ADHERE TO THE REQUIREMENTS, TERMS, AND CONDITIONS OF THE STORM WATER POLLUTION PREVENTION PLAN REVIEWED AND APPROVED BY THE STARK SOIL AND WATER DISTRICT FOR COMPLIANCE WITH THE STARK COUNTY WATER QUALITY REGULATIONS FOR THE ABOVE REFERENCED PROJECT.

OWNER=

DATE

hurley & stewart, llc  
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kalamazoo, michigan 49009  
269.552.4960 fax 269.552.4961  
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**hurley & stewart**

Job No. 14-003B P.M.BG DTL: APT- GA/QC: 4/25/14

ISSUED FOR/REVISIONS:

1	SITE PLAN SUBMITTAL	3/11/14
2	ODOT MR 505 APPLICATION	3/28/14
3	REVISIONS PER ODOT COMMENTS	4/14/14
4	REVISIONS PER CITY COMMENTS	4/24/14

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**SWPPP SITE PLAN**

**DOLLAR GENERAL - MASSILLON, OH (PARCEL 500343)**

**CAPITAL GROWTH - BUCHALTER**

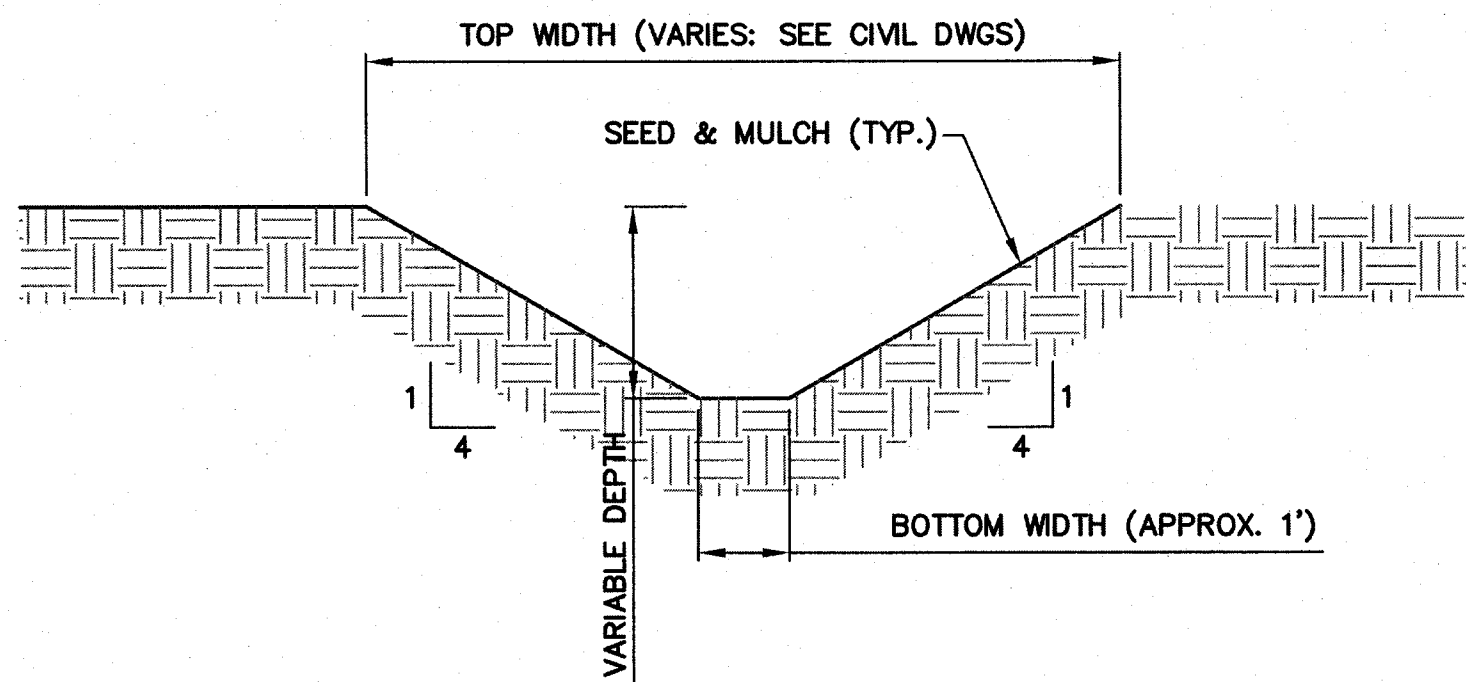
Sheet Title:  
Project:  
Client:

4/25/14  
Sheet

**S-1**



DRAWING LOCATION: H:\14-003B (DC Massillon, OH) SWPPP Details.dwg LAST SAVED BY: APRAZER ON 4/2/2014



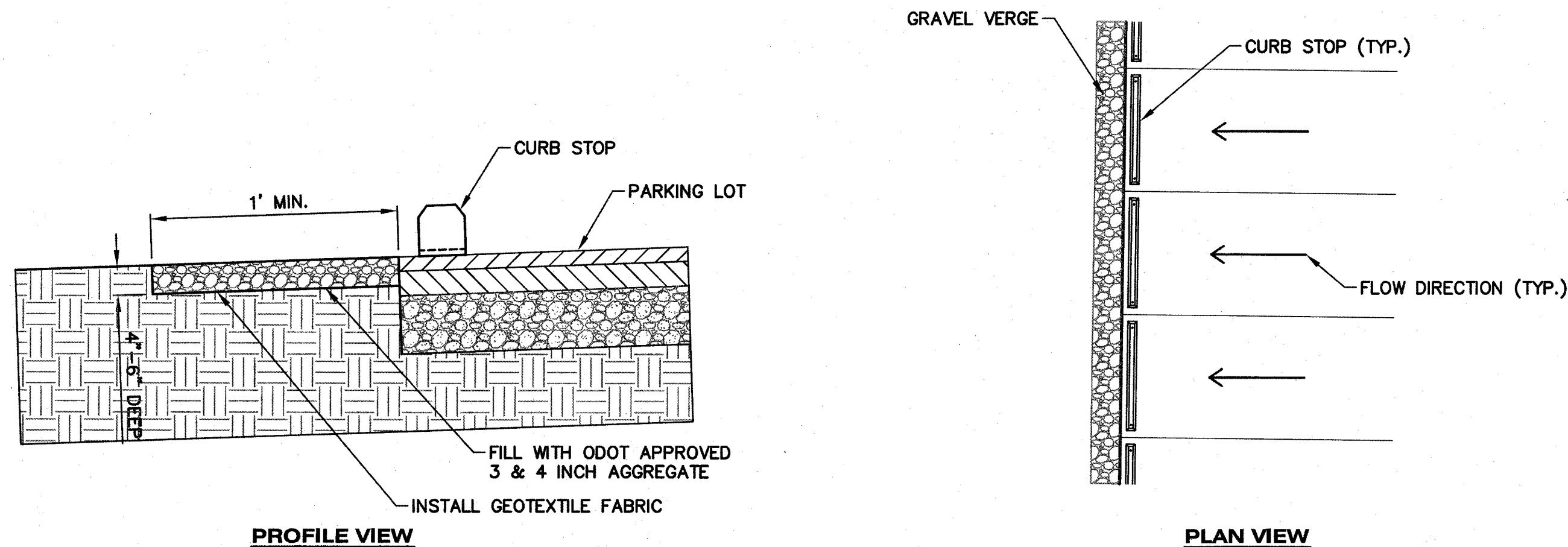
**GRASSSED SWALE DETAIL**  
NO SCALE

**GRASSSED SWALE: OPERATION & MAINTENANCE**

1. ALL TREES, BRUSH, STUMPS, AND OTHER UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE SITE.
2. THE CHANNEL SHALL BE EXCAVATED AND SHAPED TO THE PROPER GRADE AND CROSS SECTION.
3. FILL MATERIAL USED IN THE CONSTRUCTION OF THE CHANNEL SHALL BE WELL COMPACTED IN UNIFORM LAYERS NOT EXCEEDING 9 INCHES USING THE WHEEL TREADS OR TRACKS OF THE CONSTRUCTION EQUIPMENT TO PREVENT UNEQUAL SETTLEMENT.
4. EXCESS EARTH SHALL BE GRADED OR DISPOSED OF SO THAT IT WILL NOT RESTRICT FLOW TO THE CHANNEL OR INTERFERE WITH ITS FUNCTIONING.
5. STABILIZATION SHALL BE DONE ACCORDING TO THE APPROPRIATE SPECIFICATIONS FOR PERMANENT SEEDING, VEGETATIVE PRACTICES, SODDING AND MATTING.
6. CONSTRUCTION SHALL BE SEQUENCED SO THAT NEWLY CONSTRUCTED CHANNELS ARE STABILIZED PRIOR TO BECOMING OPERATIONAL TO AID IN THE ESTABLISHMENT OF VEGETATION. SURFACE WATER MAY BE PREVENTED FROM ENTERING THE NEWLY CONSTRUCTED CHANNEL THROUGH THE ESTABLISHMENT PERIOD.
7. GULLIES THAT MAY FORM IN THE CHANNEL OR OTHER EROSION DAMAGE THAT OCCURS BEFORE THE GRASS LINING BECOMES ESTABLISHED SHALL BE REPAIRED WITHOUT DELAY.

**TEMPORARY & PERMANENT SEEDING NOTES:**

1. ALL LAWN AREAS SHALL BE SEEDDED AND MULCHED WITH THE FOLLOWING MIXTURE: 20% IMPROVED PERENNIAL RYEGRASS, 40% FINE FESCUE, AND 40% KENTUCKY BLUEGRASS AT A RATE OF 8-10 LBS/ 1000 SFT. PROVIDE 19-19-19 STARTER FERTILIZER AT A RATE OF 5-7 LBS/1000 SFT.
2. BEGIN LAWN MAINTENANCE IMMEDIATELY AFTER EACH AREA IS PLANTED AND CONTINUE UNTIL ACCEPTABLE LAWN IS ESTABLISHED: A MINIMUM OF 60 DAYS AFTER SUBSTANTIAL COMPLETION.
3. MAINTAIN AND ESTABLISH LAWN BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, REPLANTING, AND OTHER OPERATIONS. ROLL, REGRADE, AND REPLANT BARE OR ERODED AREAS AND REMULCH TO PRODUCE A UNIFORMLY SMOOTH LAWN.
4. PROTECT ADJACENT AND ADJOINING STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND PLANTINGS FROM HYDROSEEDING OVER-SPRAY AND DAMAGE CAUSED BY PLANTING OPERATIONS.
5. REMOVE STONES LARGER THAN 1" IN ANY DIMENSION AND REMOVE STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER FROM SITE.
6. MAINTAIN LAWN UNTIL A HEALTHY, UNIFORM, CLOSE STAND OF GRASS HAS BEEN ESTABLISHED, FREE OF WEEDS AND SURFACE IRREGULARITIES, WITH COVERAGE EXCEEDING 90% OVER ANY 10 SQFT AND BARE SPOTS DO NOT EXCEED 5 BY 5 INCHES.
7. SEED TOPSOIL STORAGE LOCATION AND ANY SOIL AREAS EXPOSED MORE THAN TWO WEEKS WITH AN ANNUAL GRASS MIX TO PREVENT SOIL EROSION.



**GRAVEL VERGE DETAIL**  
NOT TO SCALE

**SESC Construction and Maintenance Schedule**

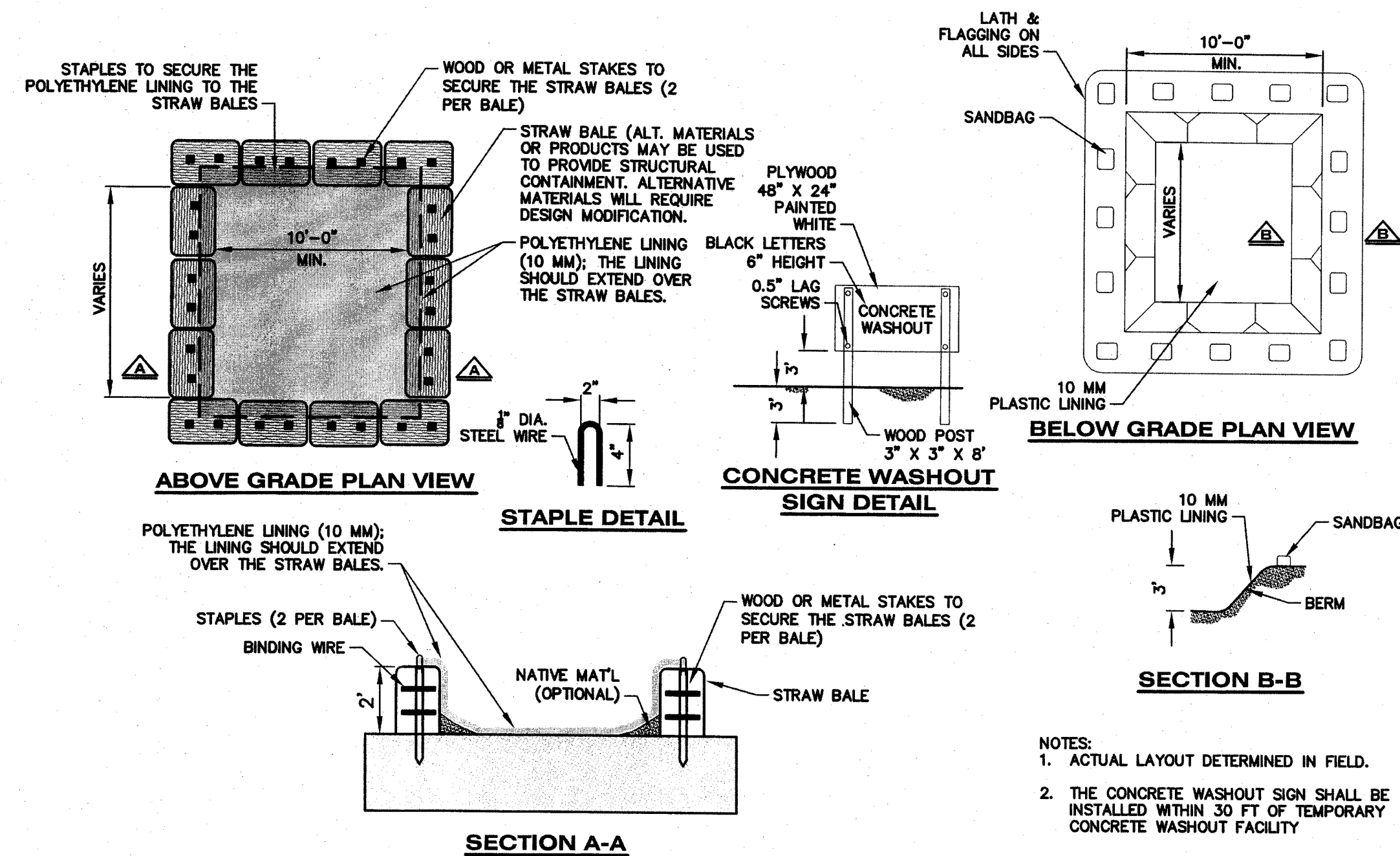
Project Name: Massillon Dollar General  
Project Start Date: June 2014  
Project End Date: October 2014

**Construction Schedule**

Construction Sequence	Jan	Feb	March	April	May	June	July	Aug	Sept	Oct	Nov	Dec
Temporary SESC Measures						X	X					
Strip and Stock Pile						X						
Permanent Grass Swales						X	X	X	X	X		
Rough Grading						X	X					
Underground Utilities						X	X					
Pavement Installation								X	X	X		
Building Construction							X	X	X	X		
Permanent SESC Measures						X	X	X	X	X		
Final Grading								X	X	X		
Landscaping								X	X	X		

**Maintenance Schedule**

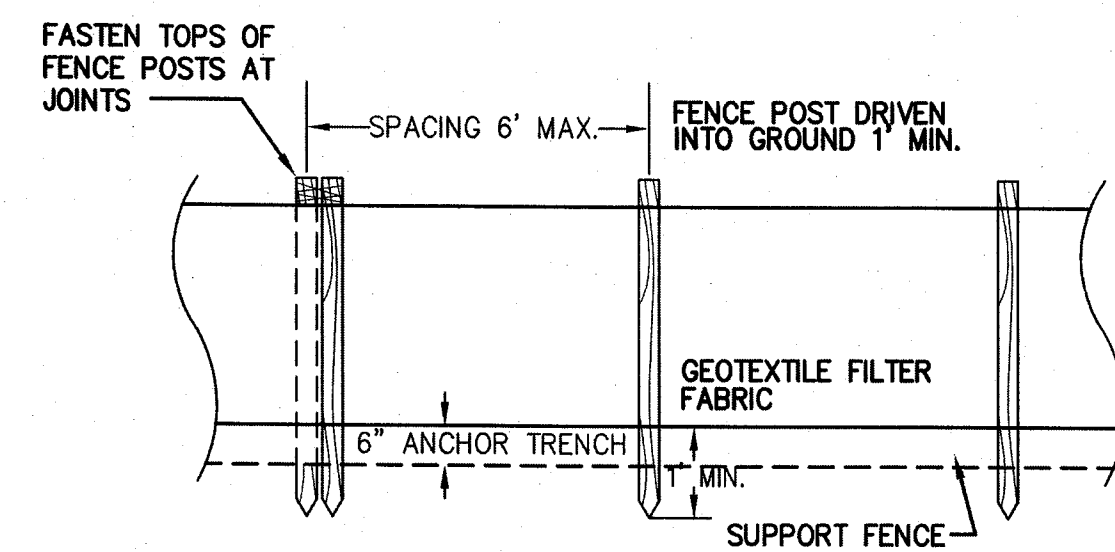
Maintenance Sequence	Jan	Feb	March	April	May	June	July	Aug	Sept	Oct	Nov	Dec
Street Sweeping						X	X	X	X	X		
Silt Fence Installation						X	X	X	X	X		
Maintain Buffer Strips						X	X	X	X	X		
Seeding and Mulch								X	X	X		
Sediment Basins								X	X	X		
Rip Rap								X	X	X		
Remove Temporary SESC Measures												



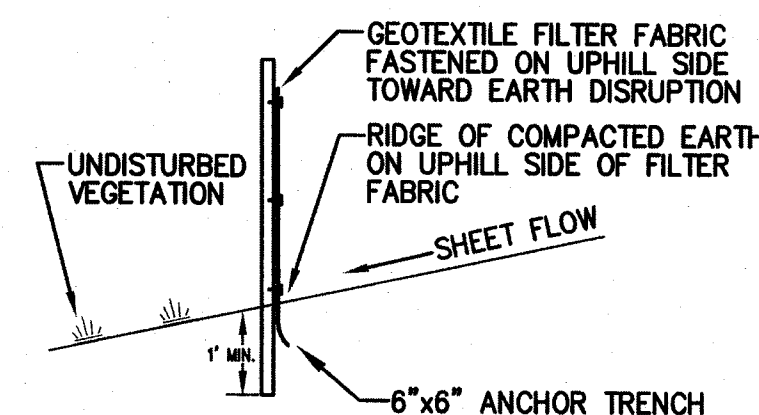
- NOTES:
1. ACTUAL LAYOUT DETERMINED IN FIELD.
  2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FT OF TEMPORARY CONCRETE WASHOUT FACILITY

**CONCRETE WASH-OUT**

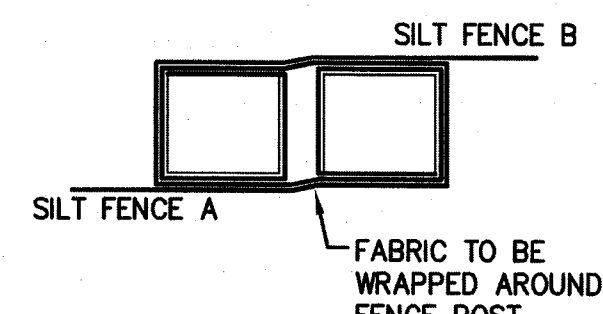
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**FRONT VIEW**  
NOT TO SCALE



**SECTION**  
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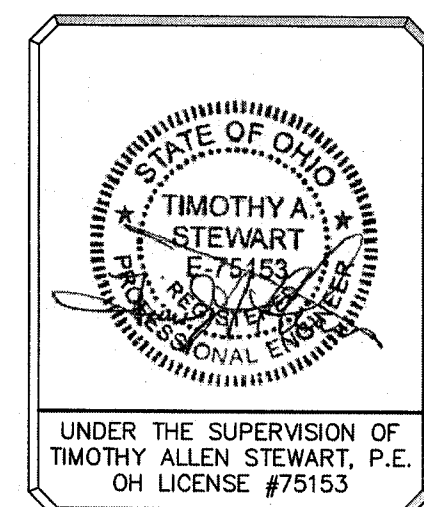


**JOINT DETAIL**  
NOT TO SCALE

**SILT FENCE DETAILS**  
NOT TO SCALE

**SUMMARY OF DETENTION BASIN DRAINAGE CALCULATIONS**

STORM DESIGN FREQUENCY (YEARS)	WATER QUALITY	1	2	5	10	10 DURING CONSTRUCTION	25	50	100
PRE-DEVELOPED PEAK FLOW (CFS)	N/A	1.56	1.72	3.30	4.07	4.07	4.85	5.85	6.25
POST-DEVELOPED UNCONTROLLED PEAK FLOW (CFS)	N/A	2.89	3.10	5.06	5.95	5.95	6.85	7.98	8.43
POST-DEVELOPED PEAK FLOW FROM BASIN (CFS)		1.12	1.18	1.67	1.84	1.84	2.00	2.18	2.25
DESIGN PEAK WATER ELEVATION (FT)		1067.82	1067.88	1068.37	1068.59	1068.59	1068.80	1069.07	1069.17
DESIGN STORAGE VOLUME REQUIRED (CF)		2301	2476	4223	5074	5074	5953	7102	7574
AS-CONSTRUCTED PEAK FLOW FROM BASIN (CFS)									
AS-CONSTRUCTED PEAK WATER ELEVATION (FT)									
AS-CONSTRUCTED STORAGE VOLUME PROVIDED (CFT)									



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**SWPPP DETAILS**  
**DOLLAR GENERAL - MASSILLON, OH (PARCEL 500343)**  
**CAPITAL GROWTH - BUCHALTER**

Sheet Title:  
Project:  
Client:

4/25/14  
Sheet

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