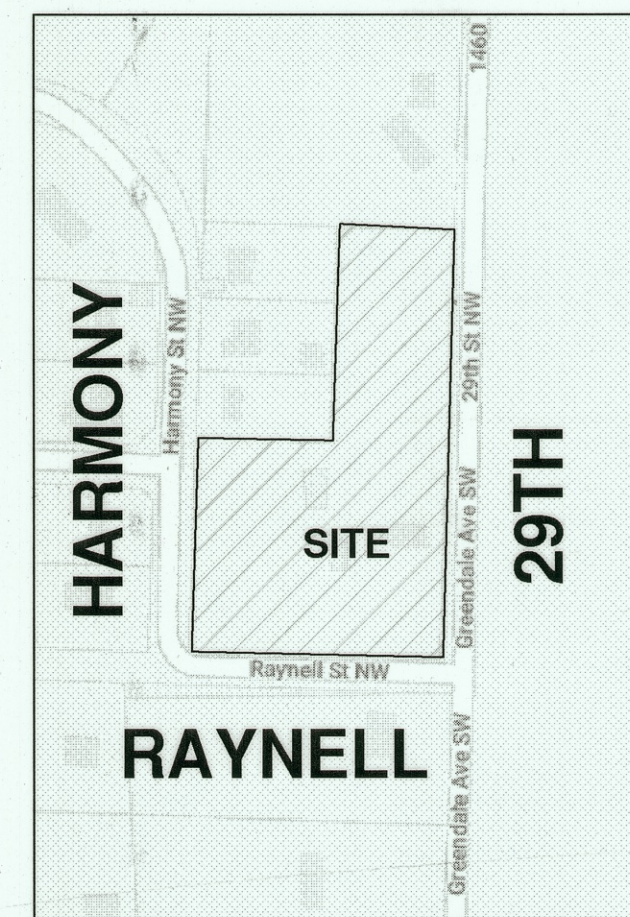


LOCATION MAP



Acreage Summary

5 Lots 2.756 Acres
Roadway 0.304 Acres
TOTAL 3.060 Acres

Survey Reference Data Used

Raynell Heights Allotment No. 1 P.B. 37, Pg. 34
Replat of O. L. 927, Imaging # 20030227000856
Part of O.L. 927 P.B. 70, Pg. 19, D.V. 3700 Pg. 87,
O.R.I.N. 201606230024073, 201405290019335,
201506110022306, 20080818037166

O - Denotes Iron Pin Found see drawing
● - Denotes No. 5 Solid Bar Set flush with I/D.
John Michael Johanyak P.S.6183

I hereby certify that I have surveyed the land shown hereon
and that I have found or set the monumentation shown, which
balances and close and that all dimensional and geodetic details
are correct.

John Michael Johanyak
John Michael Johanyak, June, 2020

Being Subject to all legal highways, easements, reservations and
restrictions of record. There may be proprietary land rights belonging
to others and not shown hereon. There are no apparent occupation lines.

Basis of Bearings are Assumed

Owners / Developers

Kevin Glick Construction
18770 Withrich Road
Dalton, Ohio 44618
330 828 2310

Current Zoning Classification

R - 3
All yard setbacks must conform to
the requirements for an R-3 District

Easements and Restrictions

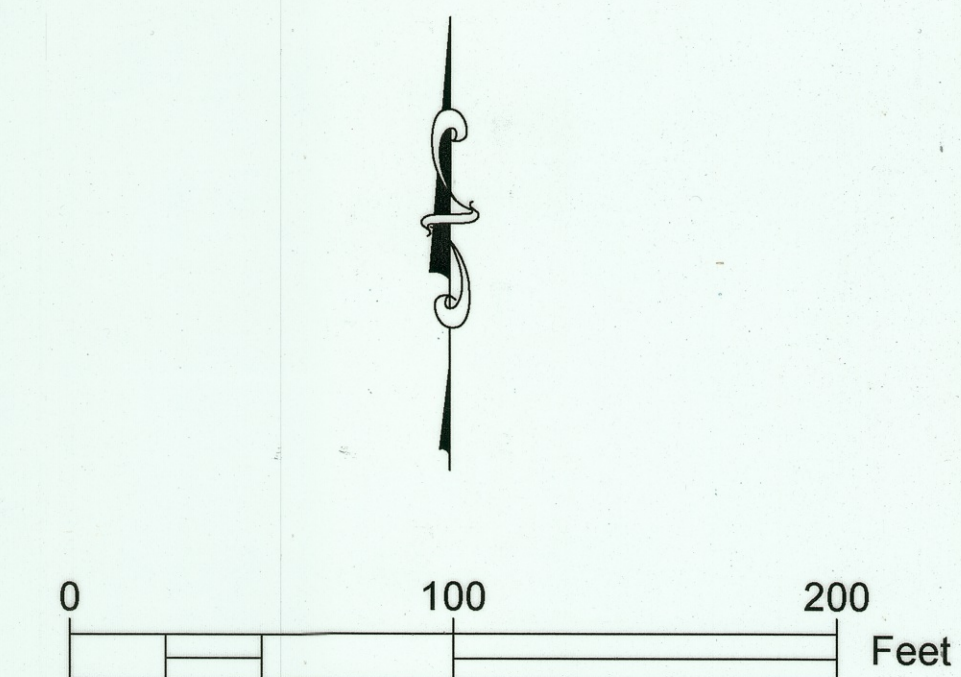
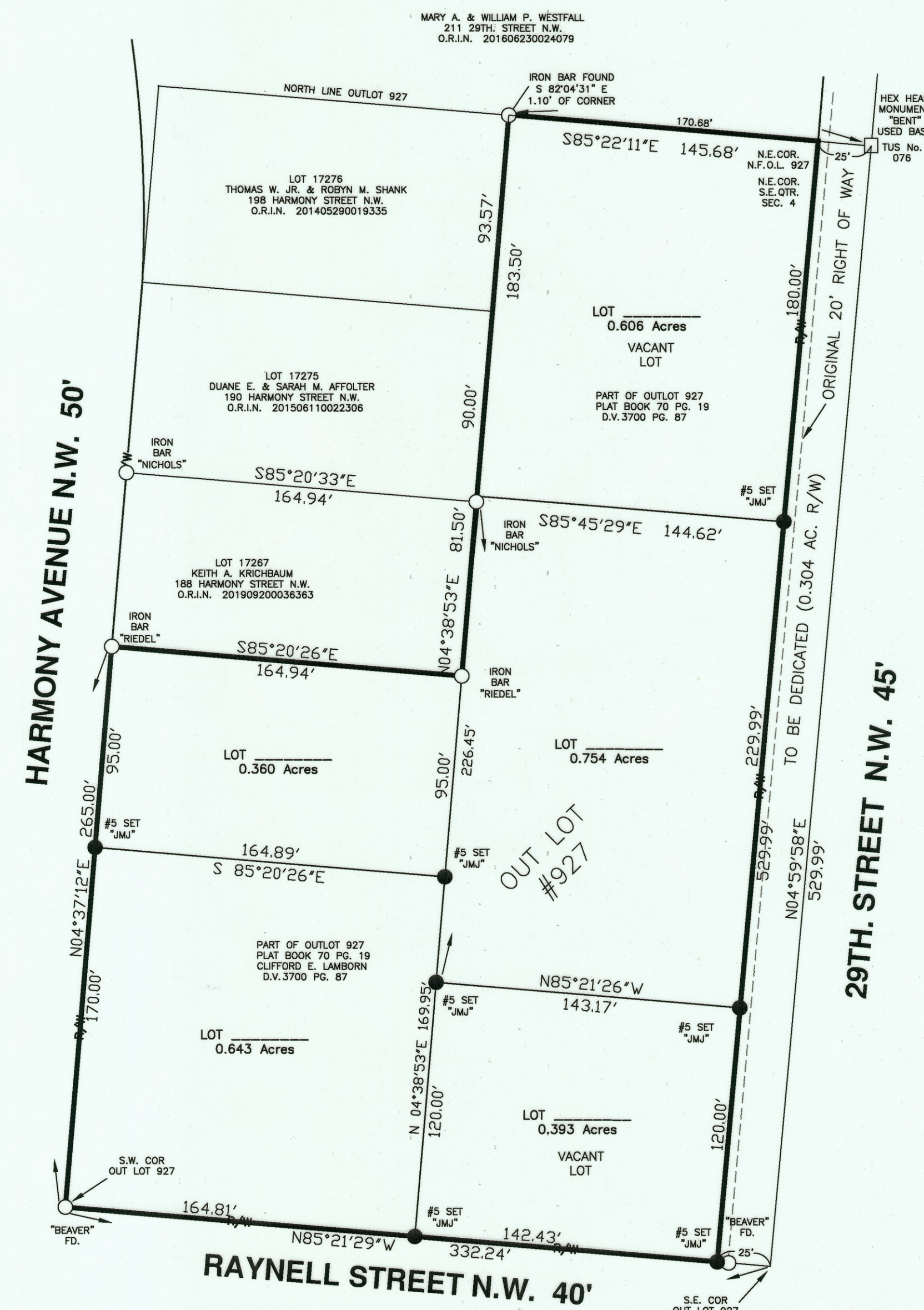
An easement of six (6') feet in front of each lot adjacent to the Right-of-Way
Is hereby dedicated and reserved in this subdivision to the County of Stark,
City of Massillon, Ohio Water Service Company, Dominion East Ohio Gas, Ohio
Edison, a First Energy Company, Ameritech Company, Massillon Cable TV, Inc.,
And any P.U.C.O. Regulated Utility for the purpose of construction, erection, and/or
maintenance of any transmission lines, pipes, cables, buried wires, conduits,
swales or other appurtenances for the transmission of power, electric, communications,
storm water, sanitary sewer waste, and / or any future developed public utility this
easement gives all the utilities the right to remove trees and landscaping without
liability as required to maintain, operate or construct the facilities.

Surveyor

John Michael Johanyak, P.S. 6183
12171 Black Diamond Road
Doylestown, Ohio 44230
330 658 3131



CONTROL STATION SOUTH LINE OF
LOT 17267. IRON PINS FOUND & USED
WITH ID. "RIEDEL"



SCALE 1"= 50'

REPLAT OF OUTLOT 927

Situated in the City of Massillon (Township of Tuscarawas), County of Stark, State of Ohio and being a part of Out
Lot 927 (P.B. 70, Pg. 19), formerly a part of the Southeast Quarter of Section 14, Township 12, Range 10 being all of
the land now in the names of Kevin K. Glick and Marlene M. Glick as recorded in O.R.I.N. 201608070029300
Of the deed records of Stark County Ohio.

Massillon City Planning Commission

Approved by the City of Massillon Planning Commission this _____ day of
_____, 202__

Chairman _____

Secretary _____

Massillon City Council

Accepted by the City Council of Massillon Ohio, by Ordinance No. _____
passed this _____ day of _____, 202__

President _____

Clerk _____

Massillon City Law Director

I certify based on documents submitted to me, that to my knowledge no encumbrances
exist on any of the lands herein offered for dedication as public streets this _____ day
of _____, 202__

Massillon City Law Director

Massillon City Engineer

Lot Numbers _____

Massillon City Engineer

Stark County Auditor

Entered for transfer this _____ day of _____, 202__

Stark County Auditor

Stark County Recorder

Received for record this _____ day of _____, 202__

Recorded in Plat Book _____, Page _____

Stark County Recorder

Acknowledgement

Known all men by these presents, that we the undersigned, owners of the land shown on this plat,
Do hereby acknowledge the making of the same to be their own free act and deed, and do
hereby dedicate the streets and public easements shown hereon to public use forever.

Witness

Owners

Sandra Glick
Marlene M. Glick

Kevin K. Glick
Marlene M. Glick

Notary Public
State of Ohio
County of Stark ss.

Before me a Notary Public, in and for said County and State, personally appeared the above
signed owners of the land shown on this Plat, who acknowledge that they did sign the foregoing
instrument, and that it was their free act and deed according to law. In testimony whereof, I have
hereunto subscribed my name and affixed my seal.

Deborah L. Kovin
Notary Public

My Commission Expires *3/28/2026*



Deborah L. Kovin
Notary Public, State of Ohio
My Commission Expires 03-28-26



Deborah L. Kovin
Notary Public, State of Ohio
My Commission Expires 03-28-26